



IMPERVIOUS AREAS

WEST LOT
EXISTING TO REMAIN
(WINTERGREEN LANE WITH PARALLEL PARKING)
9418 SF

NEW AND REPLACED
ROOFS 18,776 SF
PATHS 6036 SF
ROAD 4345 SF
PARKING 380 SF
BIKE RACK 59 SF
TOTAL 29,596 SF
39,014 SF

AREA OF DISTURBANCE
44,400 SF

EAST LOT
EXISTING TO REMAIN
(CONNECTION TO POLLY'S LANE AND PARKING)
32,371 SF

NEW AND REPLACED
ROOFS 13,403 SF
PATHS 3276 SF
BIKE RACK 42 SF
TRASH ENCLOSURE 94 SF
TOTAL 16,815 SF
49,186 SF

AREA OF DISTURBANCE
29,000 SF

NATURAL AND COMMUNITY SPACE

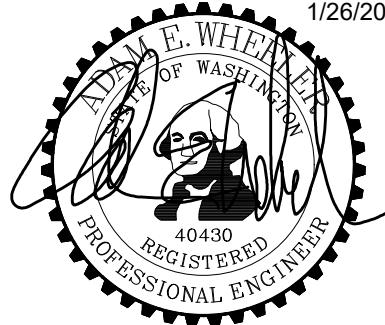
WEST LOT 57,499SF
NATURAL AREA (5%) = 2875 SF REQUIRED
5264 SF PROPOSED
COMMUNITY SPACE (10%) = 5750 SF REQUIRED
9682 SF PROPOSED

EAST LOT 70,567 SF
NATURAL AREA (5%) = 3528 SF REQUIRED
7995 SF PROPOSED
COMMUNITY SPACE (10%) = 7057 SF REQUIRED
12,992 SF PROPOSED

LEGEND

- 3 STORY TOWNHOUSE
12.5' X 30'
1 CAR GARAGE PARKING
- 2 STORY TOWNHOUSE
12.5' X 30'
1 OPEN PARKING SPACE
- OPEN SPACE
- COMMUNITY SPACE
- PATHS AND SIDEWALKS
- PARKING TRACT
PARKING SPOTS ARE
STANDARD SIZE UNLESS
NOTED OTHERWISE
- PROPERTY LINE
- PROPOSED WATER
- PROPOSED SEWER
- PROPOSED STORM DRAINAGE
- ATTACHED GARAGE

PRELIMINARY
NOT FOR CONSTRUCTION
1/26/2020



UTILITY PLAN
WINTERGREEN TOWNHOMES
PUBLIC PARTICIPATION MEETING

BROWNE • WHEELER
ENGINEERS, INC
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CENTRAL HIGHLANDS
BUILDERS, INC.
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POULSBORO, WA 98370

DATE 1/26/2020
DESIGNED AEW
DRAWN NDW
CHECKED
PROJECT # CE02

C2

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