



Department of Planning and Community Development

Staff Report

Project: Karsten Short Plat SPT

File number: PLN50875 SPT

Date: May 30, 2018

To: Gary R. Christensen, AICP, Planning Director

Project Manager: Annie Hillier, Planner

Applicant: Lily and Cameron Karsten
10871 Falk Road NE
Bainbridge Island, WA 98110

Request: Short plat of a 0.94 acre parcel into two lots with 25% open space.

Location: 10871 Falk Road NE, Tax #14250210242009

Recommendation:

Approval of the preliminary short plat subject to the following conditions:

Project Conditions

1. Except for modifications reflecting compliance with these conditions of approval, the final subdivision shall substantially conform to the revised plans date-stamped received on December 06, 2017.
2. Prior to any construction activities, the applicant shall obtain the appropriate permits from the City of Bainbridge Island, including but not limited to clearing, grading, right-of-way, and/or building permits.
3. The final short plat comply with the following conditions of the Fire Marshal:
 - A. The proposed location of the fire hydrant is acceptable. New hydrants shall meet COBI Public Works standards. A flow test will be required prior to acceptance.
 - B. The turnaround is acceptable. It shall be marked FIRE LANE – NO PARKING.
4. The applicant shall comply with the following conditions to the satisfaction of the City Engineer:

- A. Survey monumentation shall be provided consistent with the Standards, Section 8-03.
- B. Civil improvement plans ready for construction shall be submitted with an application for a plat utility permit to COBI for review and approval to construct all necessary infrastructure serving the divided lots.
- C. As-built civil construction plans stamped by a civil engineer shall be provided by the applicant prior to final plat.
- D. A road maintenance agreement between proposed Lots A & B shall be recorded prior to the final short plat. Maintenance of the private road shall be the responsibility of the owners and not the City.
- E. A Stormwater Pollution Prevention Plan (SWPPP) is required prior to construction activities including clearing or grading or civil improvements. Stormwater quality treatment, erosion and sedimentation control shall be designed in accordance with BIMC 15.20. The submittal documents shall be prepared by a civil engineer licensed in the State of Washington.
- F. Prior to final plat submittal, or performance bond release, the applicant shall submit an operation and maintenance plan for the on-going maintenance of the storm drainage system.
- G. Stormwater from the new driveway surfaces shall be 100% infiltrated on-site. Final design of a linear rain garden driveway center strip shall be included in the plat utility application and should address how the bioretention soil mix has no shear or compressive strength to withstand vehicle traffic and provide sidewall restraint for the gravel wheel strips. A final design shall address how the strip will be maintained in perpetuity with a durable design. Alternatives to a rain garden may be acceptable such as a pervious paver center strip that would provide adequate lateral and bearing strength while also allowing for full infiltration or stormwater inputs.
- H. The face of the plat shall include a note stating that all surface stormwater shall be infiltrated on-site consistent with BIMC 15.20.
- I. All on-site stormwater facilities shall remain privately owned and maintained. The owner(s) shall be responsible for maintenance of the storm drainage facilities for this development following construction. Annual inspection and maintenance reports shall be provided to the City. A Declaration of Covenant for stormwater system operation and maintenance will be required to be recorded before final plat submittal. The approved language for the Declaration of Covenant is found in BIMC Chapter 15.21, Exhibit A.
- J. A right-of-way (ROW) construction permit or road approach application (RAA) will be required prior to construction activities within the right-of-way. The ROW/RAA permit will be subject to separate conditions and bonding requirements.
- K. Installation of improvements and creation of as-built engineered plans must be completed prior to approval of final plat. In lieu of completion of those improvements and as-builts consistent with the conditions of a preliminary short plat approval, the City engineer may accept an assurance device, in an amount and in a form determined by the City, but not to exceed 125 percent of the established cost of completing the infrastructure that secures and provides for

the actual construction and installation of the improvements or the performance of the conditions within one year, or such additional time as the city engineer determines is appropriate after final plat approval.

5. The final short plat shall comply with the following conditions to the satisfaction of the City Surveyor. On survey sheets 1, 2, and 3:
 - A. Check reference citations for accuracy and relevancy to the project. Section Subdivision reference to survey Vol. 3, pg. 44.
 - B. Provide basis of bearings; verify monuments used as basis that were last visited in 1990 still exist.
6. Work shall immediately stop if any historical or archaeological artifacts are uncovered during excavation or construction and the Department of Planning and Community Development and the Washington State Office of Archaeology and Historic Preservation shall be immediately notified. Construction shall only continue thereafter in compliance with the applicable provisions of law.
7. Homesite areas a minimum of 12,500 square feet in size shall be depicted on the face of the final plat. Designated homesite areas shall meet the requirements of BIMC 17.12.030.A.
8. Lot coverage (8,203.8 square feet total) shall be assigned to each resultant lot and noted on the face of the final short plat.
9. The following setbacks shall be noted and depicted on the final short plat:

Building to building (on-site)	0 feet, or min. for fire code
Building to exterior subdivision boundary line	15 feet min.
Building to other streets	15 feet min.
Building to trail, open space, or access easement	10 feet min.
10. No construction staging is permitted in designated open space areas.
11. A final Open Space Management Plan (OSMP) shall be recorded on a sheet of the final plat. The OSMP shall include limitations on activities within the open space area, maintenance, and ownership.
12. Fences and signs delineating open space is required and shall be installed prior to inspection of the plat utility permit. Low-impact fencing must be constructed in accordance with BIMC 17.28.02.030. Signs shall be constructed in accordance with BIMC 17.28.020.37 and shall be spaced at intervals of 50 feet, unless otherwise approved by the director.
13. The final plat submittal shall include street names, the location of any traffic regulatory signs and approved mailbox locations from the United States Postal Service. The applicant is responsible street names signs in accordance with the Manual on Uniform Traffic Control Devices and City requirements.

14. A plat certificate shall be provided with the final plat application.
15. School impact fees may be required. If school impact fees are in effect at the time of submittal for the final plat, the applicant shall pay one half of the impact fees for the 1 single family unit. The remaining half of the fees shall be paid at the time of building permit issuance for the single-family units. If the fees are in effect at the time of building permit submittal rather than subdivision submittal, then each applicant applying for a single family residential building permit shall pay the full impact fee prior to building permit issuance. The pertinent condition shall be provided on the face of the plat.
16. Pursuant to RCW 58.17.140(3), a final plat shall be submitted to the city for approval within five years of the date of preliminary plat approval.
17. The following conditions shall be listed on the final short plat: 2, 4.H, 6, 7, 8, 9.

FINDINGS OF FACT

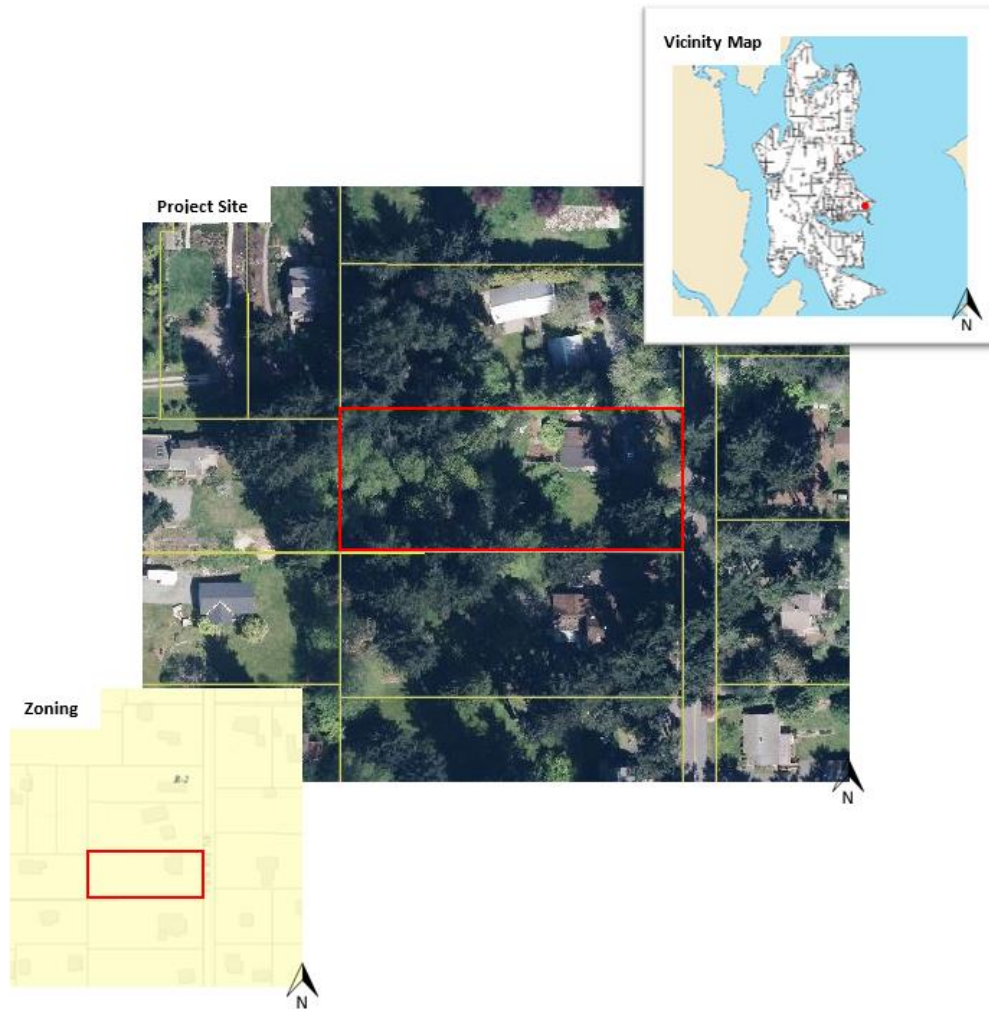
A. Background / Environmental Review / Public Notice:

1. On July 18, 2017, a pre-application conference with the applicant was held.
2. On July 31, 2017, the pre-application summary letter and checklist was sent to the applicant (Reference A).
3. On December 06, 2017, the applicant submitted a preliminary short subdivision application with preliminary plat drawings (Reference B and C).
4. On January 3, 2018 the application was deemed complete and a Notice of Complete Application was sent to the applicant (Reference D).
5. On January 12, 2018, the Notice of Application was published (Reference E); no public comments were received during the 21-day comment period.
6. On March 30, 2018 an Extension Letter was sent to the applicant (Reference F).

B. Site Characteristics

1. **Subject Property Information:**
 - a. **Tax lot number:** 142502-1-024-2009
 - b. **Owner of record:** Cameron J. and Lily C. Karsten
 - c. **Lot size:** 41,019 square feet (0.94 acres)
2. **Zoning and Comprehensive Plan Designation:** The subject property and surrounding properties are in residential districts. The subject property is zoned Residential – 2 units per acre zone (R-2), and the Comprehensive Plan designation is Open Space Residential – 2 units per acre (OSR-2). Surrounding properties are also zoned R-2 and OSR-2.

Approximately one quarter mile to the west, properties are zoned Residential – 1 unit per acre zone (R-2) and the Comprehensive Plan designation is Open Space Residential – 1 unit per acre (OSR -1). There is a neighborhood center (Rolling Bay) located approximately 0.1 miles to the northwest.
3. **Existing Development:** The subject property is developed with a single-family residence. Surrounding properties contain single family residences (SFRs), with the exception of Rolling Bay Neighborhood Center, which contains commercial development.



4. **Access:** The property is accessed via Falk Rd. NE, off of the east property boundary.
5. **Soils and Terrain:** Site soils are Harstine gravelly ashy sandy loam. The site slopes gently on the eastern portion of the property, and steepens to about 10% near the southwestern corner of the property.
6. **Public Services and Utilities:**
 - a. **Police:** City of Bainbridge Island Police Department
 - b. **Fire:** Bainbridge Island Fire District
 - c. **Schools:** Bainbridge Island School District
 - d. **Water:** KPUD No. 1
 - e. **Sewer / Septic:** Septic
 - f. **Storm drainage:** The existing system sheet flows surface water runoff in a dispersed manner primarily south. The proposed system will utilize on-site infiltration.

C. Comprehensive Plan Goals and Policies

1. Land Use Element

a. Residential District: Goals LU-14

Develop context-sensitive regulations for residential development in areas designated R-2, R-1, or R-0.4, in order to limit clearing, soil disturbance, promote low impact development and reconcile development and conservation.

The site is zoned R-2 and is providing low-density housing consistent with the purpose of the R-2 zone, in addition to 25% open space. The project is also conditioned to establish to provide stormwater quality treatment, erosion and sedimentation control designed in accordance with BIMC 15.20 (Condition 4.E).

b. Historic Preservation – Goal 3

Archaeological resources should be identified, preserved, and / or left undisturbed.

Should any historical or archaeological artifacts be uncovered during excavation or construction, project work must stop and the applicant must notify the Department of Planning and Community Development and the Washington State Office of Archeology and Historic Preservation (Condition 6).

2. Environmental Element

a. Environment – Goal EN 1

Preserve and enhance Bainbridge Island’s natural systems, natural beauty and environmental quality.

The proposal includes 25% or 10,282 square feet of open space. Included in the Open Space Management Plan are measures to preserve and enhance the character of the parcel, including the planting of native vegetation, the removal of invasive species, and tree retention.

D. Public/Agency Comment

No public comments were received during the 21-day comment period.

E. Land Use Code Analysis

1. BIMC 17.12 Subdivision Design Standards

BIMC 17.12.020 Flexible Lot Design Requirement for Single Family Subdivisions

All single family residential subdivisions shall be designed in accordance with the City’s adopted Flexible Lot design requirements, outlined in BIMC Titles 17 and 18. Applicants for a short subdivision shall comply with the Title 17 standards applicable to Open Space design.

This application is subject to Open Space Standards (BIMC 17.12.030), General Residential Subdivision Standards (BIMC 17.12.040) and Flexible Lot Dimensional Standards (BIMC Table 18.12.020-1).

BIMC 17.12.030 Open Space Design Standards

a. *Open Space Guidelines*

The area designated for open space preservation shall be configured in a manner that enhances and promotes the natural character of the Island and open space characteristics of the property. Open space should be concentrated in large, consolidated, usable areas, minimize roadside disturbance of roadside vegetation, and be designed to preserve views from off-site of the subject property.

The designated open space area is located in a contiguous tracts along the north, east, and west property boundaries of the proposed Lot A. A narrow strip of open space runs along a portion of the west property line of Lot B.

b. Prioritization of Valued Open Space and Amount of Open Space Required

The relative desirability of different types of open space is ranked in Table 17.12.030-2; proposed open space subdivisions shall design open spaces to include areas with higher priority rankings if possible.

The area provided for open space shall be based on and consistent with the existing valued open space features listed in Table 17.12.030-2. The City shall require a maximum of 25 percent of the lot area of the property being subdivided designated as open space area.

Approximately 10,282 square feet, or 25 percent of the total area of the site has been designated as open space area by the applicant. The valued open space features identified are native forest and significant trees.

c. Open Space Ownership

Ownership of open space area may be held in private ownership if established by easements, restrictive covenants, open space management plan, or other similar legal means.

The open space will be privately owned by the lot on which it occurs, as established on the face of the preliminary short plat.

d. Uses Allowed in Open Space

Allowed uses within the designated open space area are limited to those listed in BIMC 17.12.030.

The draft Open Space Management Plan identifies allowed uses within open space areas in compliance with those listed in BIMC 17.12.030. Identified uses will be reviewed upon submittal of the final short plat application.

e. Open Space Fencing, Signage and Management Standards

Fences and/or signs delineating open space areas are required. The Director shall determine which option (fence or sign) is required, based on the likelihood of encroachment into designated open space areas.

Fencing and signage delineating open space areas will be required for the site, in accordance with BIMC 17.12.030.A.8 (Condition 12).

f. Open Space Management Plan Required

An applicant shall submit a draft Open Space Management Plan (OSMP) for review as part of the preliminary plat application. Final approval of the OSMP will occur at the time of final plat approval. OSMP shall include a list of all approved uses and a maintenance plan for open space areas. The approved OSMP must be filed with the Kitsap County Auditor.

The applicant submitted a draft OSMP for review. Final review and approval of the OSMP will occur at the time of final plat approval. The OSMP shall include the designation of ownership, maintenance agreement, and approved uses within open space areas. A final version shall be recorded on a sheet of the final plat (Condition 11).

BIMC 17.12.040 General Residential Subdivision Standards

a. *Compliance with BIMC Title 17, BIMC Title 18 and RCW Title 58*

Lot areas, dimensions and other characteristics shall comply with the requirements of Title 18, including landscaping and/or vegetated buffers. In addition, each subdivision shall comply with all applicable provisions of RCW Title 58 or its successors. Subdivisions including sensitive areas or their required buffers shall also comply with the provisions of BIMC 17.12.060, Special Requirements for Sensitive Areas.

As conditioned, the project complies with Title 17 and 18. The property is not encumbered by sensitive areas or buffers. As conditioned, the subdivision provides adequately for the public health, safety and welfare, and for the public use and interest (Conditions 1 - 16).

b. *Roads and Pedestrian Access*

Roads and access complying with the "City of Bainbridge Island Design and Construction Standards and Specifications" and all applicable requirements of the municipal code, shall be provided to all proposed lots consistent with the standards contained within this subsection.

The project is conditioned to provide roads and access in compliance with City standards (Condition 2, 4).

Existing roadway character shall be maintained where practical. To minimize impervious surfaces, public right-of-ways, access easements and roadways shall not be greater than the minimum required to meet standards unless the City Engineer agrees that the additional size is justified.

The current right-of-way width fronting the property is adequate; no right-of-way dedication is proposed or required. A single access, 20-foot wide access and utilities easement through proposed Lot B serves proposed Lot A. A road maintenance agreement between proposed Lots A & B shall be recorded prior to the final short plat. Maintenance of the private road shall be the responsibility of the owners and not the City (Condition 4.D). The Fire Marshal and City Engineer recommend approval as conditioned to meet access standards (Condition 3, 4).

Pedestrian and bicycle circulation and access within a subdivision and onto the site shall be provided through walkways, paths, sidewalks, or trails and shall be consistent with the Non-motorized Transportation Plan (NMTP).

No non-motorized improvements were proposed by the applicant, nor are non-motorized facilities required for the development. The short plat is consistent with the NMTP.

2. BIMC 18.12 Dimensional Standards

BIMC 18.12.020-1 Flexible Lot Dimensional Standards

a. *Minimum Lot Size Requirements*

Minimum lot size is 5,000 square feet for lots served by public sewer, and 12,500 square feet for lots served by on-site septic, subject to the approval of the Health District.

The lots are served by on-site septic. The smallest lot is 18,008 square feet in size, and therefore the lots meet minimum lot size requirements. The Health District approved the preliminary subdivision; final short plat approval is subject to the Health District's final approval in accordance with BIMC 2.16.070.I.4.

b. *Density*

The maximum number of lots permitted shall be calculated by dividing the total lot area of the property (without deducting areas to be dedicated as public right-of-ways or areas to be encumbered by private road easements) by the minimum lot area for standard lots in the zone district.

The subject property contains 41,019 square feet and is zoned R-2. Based on the base density of 20,000 square feet per lot, a maximum of two lots is permitted. The proposed short plat creates two lots, and therefore meets density requirements.

c. *Minimum Lot Dimensions*

Minimum lot width shall be 50 feet. Insofar as practical, side lot lines shall be at right angles to street lines. The size, shape and orientation of lots shall be appropriate for the type of development and use contemplated.

All proposed lots have a lot width of 50 feet or greater and are in compliance with BIMC 18.12.020.

d. *Maximum Lot Coverage*

Lot coverage is the portion of the lot area that may be covered by buildings (BIMC 18.12.050.K). Maximum lot coverage for lots in the R-2 zoning district is 20 percent.

Lot coverage is required to be listed on the face of the final plat. The applicant proposes to assign the lot coverage evenly, or 4,102 square feet per lot. Prior to construction activity, the applicant shall obtain the appropriate permits from the city and comply with the lot coverage standards listed on the final plat (Condition 8).

e. *Minimum Setbacks*

The following setbacks apply:

Building to Building (on-site)	0 feet, or minimum required by fire code, whichever is greater
Building to Open Space and Access Easement	10 feet
Building to Exterior Plat Boundary Line	15 feet
Building to streets (other than arterial or collector)	15 feet

The short plat is conditioned to reflect required setbacks (Condition 9).

3. BIMC 18.15 Development Standards and Guidelines

BIMC 18.15.010 Landscaping, Screening, and Tree Retention, Protection and Replacement

All residential subdivisions and short subdivisions subject to landscape buffering requirements shall comply with the standards in this subsection, including those in Table 18.15.010-4. On a property located adjacent to public roads that are designated as collector or arterial roads on the adopted road classification map, a 25-foot-wide vegetative buffer must be planted or maintained.

The perimeter landscape buffer requirement is eliminated per BIMC 18.15.010-1, as this requirement is applicable to cluster subdivisions only. The roadside buffer requirement is also eliminated per BIMC 18.15.010-4, as this requirement only applies to properties greater than one acre that are adjacent to collectors and arterial roads.

4. BIMC 2.16 Land Use Review Procedures

BIMC 2.16.070.G.5 Preliminary Short Subdivision – Decision Criteria

This staff report shall be considered the written findings of fact and conclusions of law for preliminary short subdivision. Documents referenced in this report and upon which the findings of fact rely may be accessed through the City's on-line permit system <https://ci-bainbridgeisland-wa.smartgovcommunity.com/Public/Home> (PLN50875 SPT).

As conditioned, the preliminary short plat meets the decision criteria for Planning Director approval:

- a. *The Open Space (BIMC 17.12.030), Flexible Lot (BIMC 17.12.040) and Zoning (BIMC Title 18) development standards have been satisfied.*

As proposed, the Open Space, Flexible Lot, and Zoning development standards have been satisfied. Where necessary, the project is conditioned to create lots and home site areas that meet the development standards (Conditions 1-16).

- b. *The subdivision is consistent with the requirements of the flexible lot design process and flexible lot design standards.*

The short plat is consistent with the flexible lot design process and standards.

- c. *Any portion of a short subdivision containing critical areas as defined in BIMC 16.20 conforms to all requirements of that chapter.*

There are no critical areas onsite.

- d. *Any portion of a short subdivision within the shoreline jurisdiction, as defined in BIMC 16.12, conforms to all requirements of that chapter.*

The property is not within shoreline jurisdiction.

- e. *Adequate provision is made for the public health, safety and welfare, and the public use and interest, including items listed in 58.17.110 RCW.*

Adequate provision is made for the public health, safety and welfare, and public use and interest, including required items in 58.17.110 RCW such as streets and public ways. The project is conditioned to ensure adequate access, including emergency services access, water, sewer, and stormwater facilities prior to final short plat approval (Condition 3, 4).

- f. *The proposal is in accord with the city's Comprehensive Plan.*

The proposal provides for a residential subdivision within a residential zone. The project is conditioned to notify the Department of Planning and the Washington State Office of Archeology and Historic Preservation if any historical or archaeological artifacts are uncovered during excavation or construction (Condition 6).

- g. *As conditioned, the preliminary short plat meets the decision criteria for City Engineer approval. The short plat conforms to surface and stormwater requirements (BIMC 15.20 and 15.21), will not cause an undue burden on the drainage basin or water quality and will not unreasonably interfere with the use and enjoyment of properties downstream. The streets and pedestrian ways are coordinated with streets serving adjacent properties and are adequate to accommodate anticipated traffic. As conditioned, the short plat conforms to the road standards contained in the "City of Bainbridge Island Design and Construction Standards and Specifications" manual.*

As conditioned, the City Engineer recommends approval of the preliminary short plat. The City Engineer found that, as conditioned, the preliminary subdivision conforms to surface and stormwater requirements, will not cause undue burden on the drainage basin, and will not unreasonably interfere with the use and enjoyment of properties downstream. The streets and pedestrian ways are coordinated with streets serving adjacent properties and are adequate to accommodate anticipated traffic. As conditioned, the preliminary short plat conforms to the road standards contained in the "City of Bainbridge Island Design and Construction Standards and Specifications" manual (Condition 4).

CONCLUSIONS OF LAW

As conditioned, the proposed development is consistent with the Comprehensive Plan and applicable subdivision standards.

Approval of the preliminary subdivision shall constitute authorization for the applicant to develop the facilities and improvements in strict accordance with standards established within the municipal code and any conditions imposed. As provided in RCW 58.17.140, complete application for final subdivision

shall be filed within five years of the date of preliminary subdivision approval. If the application is not filed within the five year period, the approval shall expire and shall be void.

Appropriate notice of application was made and comments were considered. The application is properly before the Director for decision.

APPEAL PROCEDURES

Any decision by the Director may be appealed to the Hearing Examiner in accordance with the procedures set forth in BIMC 2.16.

REFERENCES

- A. Preapplication Letter and Checklist
- B. Project Application
- C. Preliminary Plat Drawings
- D. Notice of Complete Application
- E. Notice of Application
- F. Extension Letter
- G. Draft Open Space Management Plan
- H. Preliminary Utility Report
- I. Preliminary Civil Plans
- J. Lot Closures
- K. Water / Septic Availability
- L. Title Report
- M. Development Engineer Conditions of Approval



REFERENCE A



July 31, 2017

Kelsey Laughlin
Seabold Engineering LLC
P.O. Box 445
Indianola, WA 98342

Dear Applicant:

Thank you for meeting with City staff on July 18, 2017 to discuss your proposal to subdivide the parcel at 10871 Falk Road NE into two parcels with open space. A summary of the land use review process, applicable Bainbridge Island Municipal Code (BIMC) regulations, comments from reviewers, fees, submittal requirements, and next steps is provided below.

General Information
Pre-Application Conference Date: July 18, 2017
Project Name and Number: Karsten Short Plat PRE / PLN50875
Project Description: Divide property into two parcels with open space
Project Address: 10871 Falk Rd. NE
Tax Parcel Number(s): 142502-1-024-2009
Tax Parcel Size: 0.95 acres
Zoning/Comp Plan Designation: R-2
Project Manager: Annie Hillier
Development Engineer: Peter Corelis

Land Use Review Process
Applications Required
Short Subdivision: BIMC 2.16.070 – The proposed project falls under the procedures for short subdivisions, which includes the division of land into 4 lots or less. Decision criteria is found in BIMC Section 2.16.070.G.5 and includes serving the public use and interest, and satisfaction of the development and design standards in Title 17 and Title 18 (additional details below).
Fees
Planning Fees: \$6,063 (Short Subdivision)
Health Fees: \$475 (separate check)
Approval Body
Administrative (decision by Director)
Review and Recommendation
<u>Preliminary Plat Application</u> Kitsap Public Health District



City Surveyor
 Development Engineer
 Planning Staff/Director
 Bainbridge Island Fire Department
 Civil Plan review (required before final plat application submittal)

Final Plat Application*

City Surveyor
 Development Engineer
 Kitsap Public Health District
 Planning Staff/Director

*The final plat must be consistent with the preliminary plat approval.

Refer to the Administrative Manual for preliminary and final plat submittal requirements, as well as plat utility permit requirements: <http://www.ci.bainbridge-isl.wa.us/DocumentCenter/View/100>.

Bainbridge Island Municipal Code Requirements

BIMC 2.16 – Land Use Review Procedures

Review procedures for Short Subdivisions are outlined in BIMC Section 2.16.070. Review criteria includes satisfaction of development standards in BIMC Titles 17 and 18 (summarized below), as well as the items listed in 2.16.070.G.5(a-h). Please note the two application phases – preliminary and final.

BIMC 15.04 – Building Code

The project and all proposed construction shall comply with all applicable provisions of the adopted Building Code.

BIMC 16.04 – Environmental Policy

The project is exempt from State Environmental Policy Act (SEPA) review as provided in Washington Administrative Code Categorical Exemptions (WAC 197-11-800: Except upon lands covered by water, the approval of short plats or short subdivisions pursuant to the procedures required by RCW 58.17.060, and short plats or short subdivisions within the original short subdivision boundaries provided the cumulative divisions do not exceed the total lots allowed to be created under RCW 58.17.020).

BIMC 16.12 – Shoreline Master Program

The subject property is outside of shoreline jurisdiction.

BIMC 16.20 – Critical Areas

There are no critical areas on the proposed project site.

BIMC 17.12 – Subdivision Design Standards

The proposed project would apply the open space flexible lot design; applicable standards are summarized below:

17.12.030.A – Open Space Short Subdivisions

- Objectives: Conserve and enhance natural or scenic resources (see BIMC 17.12.030.A.1(a-h)).
- Design guidelines: The proposal includes consolidated open space with a low perimeter to area ratio – a preferred configuration of open space. As discussed during the conference, reconfiguring the open space area to include additional significant trees is encouraged, provided the open space guidelines in BIMC 17.12.030.A.2 and the valued open space features in BIMC 17.12.030.A.3 are met.
- Amount of open space required: 25% of the area of the property being divided (BIMC 17.12.030.A.4). The project proposes 10,296 sq. ft. of open space, or 25%, meeting the requirement.
- Open space ownership: Can be private, common, or public (BIMC 17.12.030.A.6). The project proposes private ownership by the owners of Lot A. This may be established on the face of the plat.
- See BIMC 17.12.030.A.7. for allowed uses in open space.
- Open Space Fencing, Signage, and Management Standards: Fencing or signs delineating the open space area is required per BIMC 17.12.030.A.8.
- An Open Space Management Plan (OSMP) is required (BIMC 17.12.030.A.8(b)); a draft is required at the time of preliminary plat application, and a final OSMP is required for final plat approval.

17.12.040 – General Residential Subdivision Standards

- Roads and access must comply with “City of Bainbridge Island Design and Construction Standards”; deviations require a waiver from the Development Engineer.
- As proposed, the access easement serving Lot A requires a draft road maintenance agreement upon submittal for the preliminary plat, and a final agreement is required for the final plat submittal.

BIMC 18.09 – Use Regulations

Single-family dwelling is a permitted use under Table 18.09.020.

BIMC 18.12 – Dimensional Standards

Table 18.12.020-1

- Minimum Lot Area: For open space subdivisions, if the septic drainfield is located within the lot – 12,500 sq. ft. (subject to health district approval).
- Base Density (min. lot area per dwelling unit): 20,000 sq. ft. The existing aggregate lot is over 40,000 sq. ft., thus the proposal for two single family dwelling units meets the minimum lot area per dwelling area.
- Minimum Lot Width: 50 ft. As proposed, the lots exceed the minimum lot width.



- Lot Coverage: 20%, or 8,203 sq. ft. (based on the area of the existing lot). A portion of the aggregate allowable lot coverage shall be assigned to each lot at the time of preliminary plat approval.
- Building to Building: 0 ft., or min. required by fire code.
- Building to Subdivision Boundary: 15 ft. As proposed, the project meets or exceeds this requirement.
- Building to Arterial or Collector Right-of-Way: not applicable
- Building to Other Streets: 15 ft. As proposed, the project meets this requirement.
- Building to Access Easement: 10 ft. As proposed, the project meets or exceeds this requirement.
- Building to Trail/Open Space: 10 ft. As proposed, the project meets or exceeds this requirement.
- Max Building Height: 30 ft.

BIMC 18.15 – Development Standards and Guidelines

Landscaping

The landscaping and tree provisions provided in BIMC 18.15.010 include retaining existing vegetation and tree stands, incorporating native vegetation into landscaping, and preserving greenbelts.

However, a landscape plan is not required, since the items listed below are not applicable to this proposal.

- Perimeter Landscape: Applicable to cluster subdivisions only. Therefore, a perimeter landscape is not required.
- Roadside Buffer: This applies to properties greater than one acre that are adjacent to collectors and arterial roads. The subject parcel is less than one acre and is not located adjacent to a collector or arterial road, therefore a roadside buffer is not required.

Parking and Loading

Future development shall comply with the parking and loading standards in 18.15.020. See Table 18.15.020-3 for parking space dimensions.

- Two-track driveways are encouraged.
- Only a single access driveway to a public right-of-way is allowed per individual lot. Maintenance of the existing gravel driveway with two access points requires a waiver from the Development Engineer. Note the comment from the City Surveyor (below) regarding the depicted location of the existing driveway.
- Two spaces required for each primary dwelling unit.

BIMC 20.04 – City Fire Code

The project shall comply with all applicable provisions of the adopted Fire Code (International Fire Code, 2015 Edition).



Department/Agency Comments
City Surveyor Comment: Survey drawings and civil drawing show different locations of the driveway near the northeast property corner. The Survey needs to show accurate location of improvements and inspect north property line for possible encroachments. Property should be staked at back-of-use to prevent potential issues with City right-of-way routine maintenance. Rob Grant, City Surveyor, can be reached at (206) 842-3742 or rgrant@bainbridgewa.gov .
Development Engineer Comment: Peter Corelis provided the attached comment and can be reached at (206) 780-3759 or pcorelis@bainbridgewa.gov .
Bainbridge Island Fire District Comment: Fire Marshal, Luke Carpenter, provided the attached comment and can be reached at (206) 842-7686 or lcarpenter@bifd.org .
Kitsap Public Health District Comment: Steve Brown provided the attached comment and can be reached at (360) 337-5285 or steve.brown@kitsappublichealth.org .

The fee for a Short Subdivision is \$6,063, due at time of submittal. The Health District also requires \$475 for review, due at time of submittal as a separate check. Please review the City's new Administrative Manual (<http://www.ci.bainbridge-isl.wa.us/DocumentCenter/View/100>) for all submittal requirements. Once you are ready to submit an application for the Short Subdivision, contact Jay Harris at (206) 780-3770 or jharris@bainbridgewa.gov to schedule an intake appointment. If you have any questions, please contact me at (206) 780-3773 or ahillier@bainbridgewa.gov.

Sincerely,

Annie Hillier
Planner

Please note that information provided at the pre-application conference and in this letter reflects existing codes and standards, currently available information about the site and environs, and the level of detail provided in the pre-application conference submittal. Comments provided pursuant to pre-application review shall not be construed to relieve the applicant of conformance with all applicable fees, codes, policies, and standards in effect at the time of complete land use permit application. The comments on this proposal do not represent or guarantee approval of any project or permit. While we have attempted to cover as many of the Planning, Engineering, Building and Fire related aspects of your proposal as



possible during this preliminary review, subsequent review of your land use permit application may reveal issues not identified during the is initial review. If the city's pre-application review indicates that the City intends to recommend or impose one or more conditions of permit approval, and if the applicant objects to any of said conditions, the applicant is hereby requested and advised to provide written notice to the City of which conditions the applicant objects to and the reasons for the applicant's objections.

Bainbridge Island Fire Department

Memo

July 5, 2017

TO: Annie Hillier, Planning Department

FR: Assistant Chief Luke Carpenter, Fire Marshal

RE: Karsten Short Plat

PLN50875PRE

The submittal has been reviewed resulting in the following comments:

1. The proposed project shall comply with all provisions of the adopted Fire Code.
2. The proposed location of the fire hydrant described on sheet C1 is acceptable. Residential fire sprinklers will be required if the future residence is larger than 5,000 square feet.
3. The proposed driveway and turnarounds appear acceptable. Drive access must be 12 feet wide with 13.5 foot overhead clearance.



Department of Public Works - Engineering

Memorandum

Date: July 19th, 2017
To: Ann Hillier, Planner, Dept. of Planning and Comm. Development
From: Peter Corelis, P.E., Development Engineer P.E.C.
Subject: PLN50875 PRE – Karsten Short Plat

Project Description:

The proposal is to subdivide one (1) lot located at 10871 Falk Road NE into two (2) resultant lots and establish an access and utilities easement to serve the back lot. The subject lot is identified by tax parcel number 14250210242009 in the City of Bainbridge Island (COBI).

Comments:

1. Review and recommendation for approval of a preliminary short-subdivision (short plat) by the City engineer is performed consistent with Bainbridge Island Municipal Code (BIMC) 2.16.070(G). The specific decision criteria evaluated are listed in this code section.
2. Pursuant to BIMC 2.16.070(G)(5)(h)(vi) the subdivision shall conform to the City of Bainbridge Island Design and Construction Standards and Specifications, "the Standards". Lots fronting along Falk Road NE may require public improvements consistent with a standard suburban local access road. Improvements may include providing a 3-foot graveled shoulder adjacent to the existing edge of pavement and relocated the existing mailbox to be clear of the road shoulder.
3. Access shall include a paved apron to the back of the edge of public use, or, one 20' car length from the existing edge of pavement, whichever is greater, meeting the Standards drawing DWG. 8-170R.
4. Access to proposed Lot A shall be established with an easement road meeting minimum fire apparatus access road standards.
5. Dead-end roads exceeding 150 feet in length shall supply a firetruck turnaround within 150 of the farthest extent of the building, as measured around the perimeter of the structure.
6. The preliminary short plat application shall demonstrate how storm water shall be handled in conformance with current BIMC 15.20 and the 2014 Washington State Department of Ecology Stormwater Management Manual For Western Washington, "the Manual."

7. Stormwater treatment of roof and/or other hard surfaces, where feasible, must either be fully dispersed or fully infiltrated per the Manual. A review of the site shows it has 25% open space set aside proposed with the plat. The opportunity exists to claim credit for the retained open space area towards the 65% native vegetation retention requirement of Best Management Practice (BMP) T5.30, Full Dispersion. Full Dispersion requires 65% native vegetation retention, with a maximum of 10% hard surface, and dispersion of stormwater overland through a minimum of 100 feet of vegetation. This BMP may be applied for any portion of the site that meets the criteria. Given the proposed 10,296 square feet of proposed open space, a total area of 15,840 square feet with no more than 1,584 square feet of hard surface may be fully dispersed where discharged a minimum of 100 feet upland of the southern property line as measured along a flow path perpendicular to the contours (directly downhill).
8. The remaining hard surfaces may be infiltrated or considered ineffective where permeable pavement is constructed consistent with the Manual and the Low Impact Development (LID) manual.
9. The site is outside the COBI water and sewer service areas.
10. Transportation Impact Fees (TIFs) will be due for the additional lot at the time of building permit issuance. As of the date of this memorandum the fee for a new single-family residence is \$1,632.47 plus a 2% administrative fee.
11. Following approval of a preliminary short plat the owner may obtain a final short plat by completing all necessary civil improvements to serve the plat, or, provide an assurance bond based on a civil plan review and estimate of the work. An assurance bond is held for one (1) year at which time the bond will be released and exonerated upon successful completion of the improvements, or, else the bond funds will be called upon to complete said facilities (i.e. road, survey staking, utilities, etc.).
12. No construction on or to the site may take place until the civil improvement plans have been reviewed and approved by the City as part of a plat utility permit.

Please note that information provided in this letter reflects existing codes and standards, currently available information about the site and environs. Comments provided pursuant to preapplication review shall not be construed to relieve the applicant of conformance with all applicable fees, codes, policies, and standards in effect at the time of complete land use permit application. The comments on this proposal do not represent or guarantee approval of any project or permit. While we have attempted to cover as many of the Planning, Engineering, Building and Fire related aspects of your proposal as possible during this preliminary review, subsequent review of your land use permit application may reveal issues not identified during the initial review.

**CITY OF BAINBRIDGE ISLAND**

Department of Planning & Community Development
280 Madison Avenue North, Bainbridge Island, WA 98110
Phone: 206-842-2552 Email: pcd@bainbridgewa.gov
Website: www.bainbridgewa.gov
Portal: <https://ci-bainbridgeisland-wa.smartgovcommunity.com/portal>

JUN 29 2017

LETTER OF TRANSMITTAL

Memo: 50875

PROJECT NAME Karsten Short Plat PRE		ORIGINAL SUBMITTAL DATE 06/22/2017	TRANSMITTAL DATE 06/28/2017
PROJECT NUMBER PLN50875	SUFFIX PRE	PROJECT TYPE Preapplication Conference	
PROJECT STREET ADDRESS OR ACCESS STREET 10871 Falk Rd NE		TAX PARCEL NUMBER 14250210242009	
CITY PROJECT MANAGER ANNIE HILLIER			
PHONE (206) 780-3773	EMAIL ahillier@bainbridgewa.gov		
PROJECT DESCRIPTION Subdivide one parcel into two parcels with open space.			
<i>Please review electronic files.</i>			
REVIEW PACKET TO			
<input type="checkbox"/> SURVEY REVIEW		<input type="checkbox"/> DEVELOPMENT ENGINEER - DEVELOPMENT ENGINEERING REVIEW QUEUE	
<input type="checkbox"/> FIRE DEPT REVIEW - LUKE CARPENTER			
<input checked="" type="checkbox"/> HEALTH DISTRICT REVIEW			

Owner(s) CAMERON J & LILY C KARSTEN		Contact(s) Seabold Engineering LLC	
PH: _____	E-MAIL: _____	PH: 360-930-4668	E-MAIL: kelsey@seaboldeng.com
TRANSMITTED DOCUMENTS			
DOCUMENT 1 SURVEY	DOCUMENT 2 PLANS-UTILITY	DOCUMENT 3 LID SITE ASSESSMENT	
DOCUMENT 4 VICINITY MAP	DOCUMENT 5 CONCEPTUAL DESIGN	DOCUMENT 6 APP-PROJECT	
DOCUMENT 7 SITE PLAN			

COMMENTS DUE BY: 07/12/2017

COMMENTS ☐ No Comments ☒ See Attached Comments/Conditions

Signed: 

Date: 7-18-17

Please Print Name: Steven J. Brown

Pre-application Checklist

Date: July 18, 2017

C.O.B.I. Planner: Annie Hillier

Applicant: Seabold Engineering

Project Name: Karsten Short Plat PRE

The following items will need to be applied for/submitted to the Kitsap Public Health District before COBI will accept your permit application:

- ☒ Building Site Application for On-Site Sewage Disposal (BSA-septic designs) is required for each lot that is 22,000 square feet or less, and on-site stormwater infiltration is proposed.

2017 Fees: Short Plat (onsite) - \$475.00 (9 lots or less), Plat (on-site) - 10 or more lots - \$555.00 plus \$41.00 per lot (after 10), Plat on sewer - \$158.00, large lot subdivision - \$109.00, BSA's - fees vary (contact the Health District)
Other Land Use Apps. - \$218.00 (or \$109.00 with copy of the submitted BSA or Building Clearance attached)
Site Plan Review - \$109.00 (BSA required at time of submittal if on septic)
Building Clearance - \$241.00, B.C. Exemption-\$79.00, Commercial B.C. - \$284.00-\$393.00, Sewered B.C. - \$66.00
\$109.00 per hour may be billed for any additional time spent on project review.
See the Health District fee schedule for details.

This list may not address all Health District requirements. It is based only on the information provided.
Please call if you have any questions.

Steven J. Brown Environmental Health Specialist II (360)728-2277



REFERENCE B



CITY OF BAINBRIDGE ISLAND
MASTER LAND USE APPLICATION
P100

FOR OFFICIAL USE ONLY

PROJECT # _____
PLANNER _____

Project Name: Karsten Short Plat

Parcel Number(s): 142502-1-024-2009

Property Address: 10871 Falk Rd NE

Type of Application (check all that apply)

☐ Adjustments to an Approved Land Use:
☐ Major ☐ Minor

☐ Administrative Code Interpretation

☐ Agricultural Conditional Use

☐ Agricultural Retail Plan

☐ Boundary Line Adjustment

☐ Buoy Application

☐ Clearing Permit

☐ Conditional Use Permit:

☐ Major ☒ Minor

☐ Habitat Buffer Averaging

☐ Habitat Management Plan

☐ Housing Design Demonstration Project

☐ Pre-Application Conference

☐ Reasonable Use Exception

☐ Revision: Type _____

☐ Rezone:

☐ Site Specific ☐ Area-Wide

☐ Shoreline Conditional Use

☐ Shoreline Exemption

☐ Shoreline Substantial Development

☐ Shoreline Variance

☐ Sign Permit

☐ Site Plan and Design Review:

☐ Major ☐ Minor

☐ Special Use Review

☐ State Environmental Policy Act (SEPA)

☐ Subdivision - Large } ☒ Preliminary

☐ Subdivision - Long } ☐ Final

☒ Subdivision - Short } ☐ ALT/ADJ/AMEND

☐ Variance:

☐ Major ☐ Minor

☐ Vegetation Management

☐ Wireless:

☐ EFM ☐ WCF

☐ Other _____

Project Description:

Divide property into 2 parcels with open space.

Parcel #	Address	Property Owner
142502-1-024-2009	10871 Falk Rd NE	Lily + Cameron Karsten

Project Contacts (owner, surveyor, engineer, etc)		
Property Owner: Lily + Cameron Karsten		
Address: 10871 Falk Rd NE		
City: Bainbridge Island	State: WA	Zip: 98110
Email: cameron.karsten@gmail.com lily.karsten@gmail.com	Phone: 206-605-9963 206-605-6673	
Name: Kelsey Laughlin, P.E.	Agency: Seabold Engineering LLC	
Address: PO Box 445	Function: Engineer	
City: Indianola	State: WA	Zip: 98342
Email: kelsey@seaboldeng.com	Phone: 360-930-4668	
Name: Gavin Oak, P.L.S.	Agency: AGO Land Surveying LLC	
Address: 1015 NE Hostmark St	Function: Surveyor	
City: Poulsbo	State: WA	Zip: 98370
Email: gavin@agols.com	Phone: 360-779-4299	
Name:	Agency:	
Address:	Function:	
City:	State:	Zip:
Email:	Phone:	

Authorized Agent (Please attach notarized Owner/Applicant Agreement Form)		
Name:	Agency:	
Address:		
City:	State:	Zip:
Email:	Phone:	

If additional parcels or contacts are required, please attach additional sheets

Permits: <http://www.bainbridgewa.gov/DocumentCenter/View/100>.

ELECTRONIC FILES AND FOUR (4) PAPER COPIES ARE REQUIRED FOR ALL SUBMITTED DOCUMENTS

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED OR WILL DELAY PROCESSING.

Cameron Karsten

Print Name (Owner)




Signature (Owner)

12/5/17

Date

Lily Karsten
Print Name (Owner)


Signature (Owner)

12-5-17
Date

Print Name (Owner)	Signature (Owner)	Date
--------------------	-------------------	------

Print Name (Owner)	Signature (Owner)	Date
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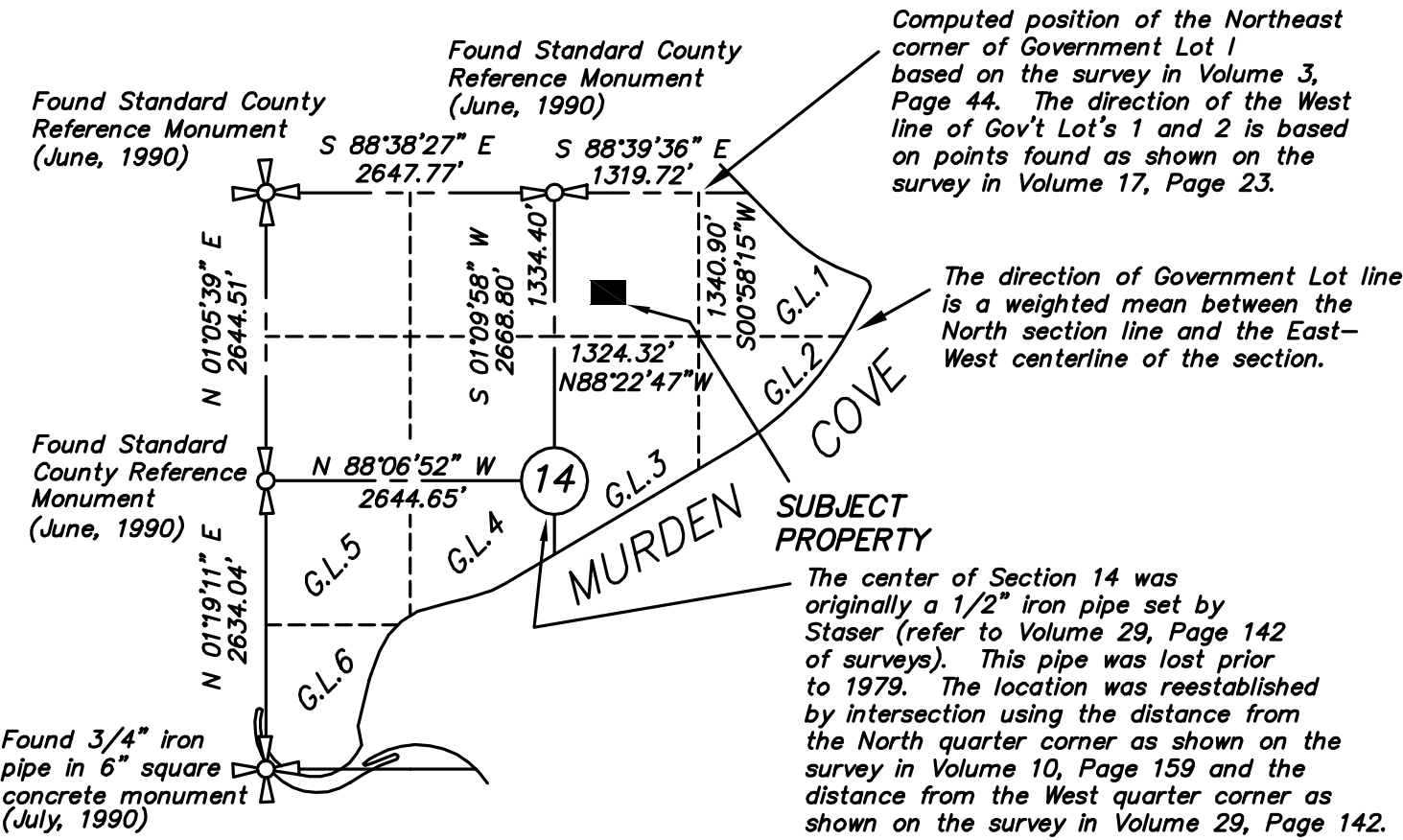
Print Name (Agent)	Signature (Agent)	Date
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REFERENCE C

Karsten Preliminary Short Plat
NW 1/4, NE 1/4, Sec.14, T.25N., R.2E., W.M.
City of Bainbridge Island, Kitsap County, Washington

Owner: Cameron & Lily Karsten 10871 Falk Road Bainbridge Island, WA. 98110 206-605-9663
Current use: Single family residential
Proposed water service: Kitsap PUD No. 1
Proposed sewer service: Individual one-site septic systems
Assessor's Account No. 142502-1-024-2009
Zoning: R-2
Comprehensive Plan: OSR-2
Compliance with the fire flow requirements of BIMC 20.04 will be by residential sprinkler systems if required by Fire Code.
Application File No.



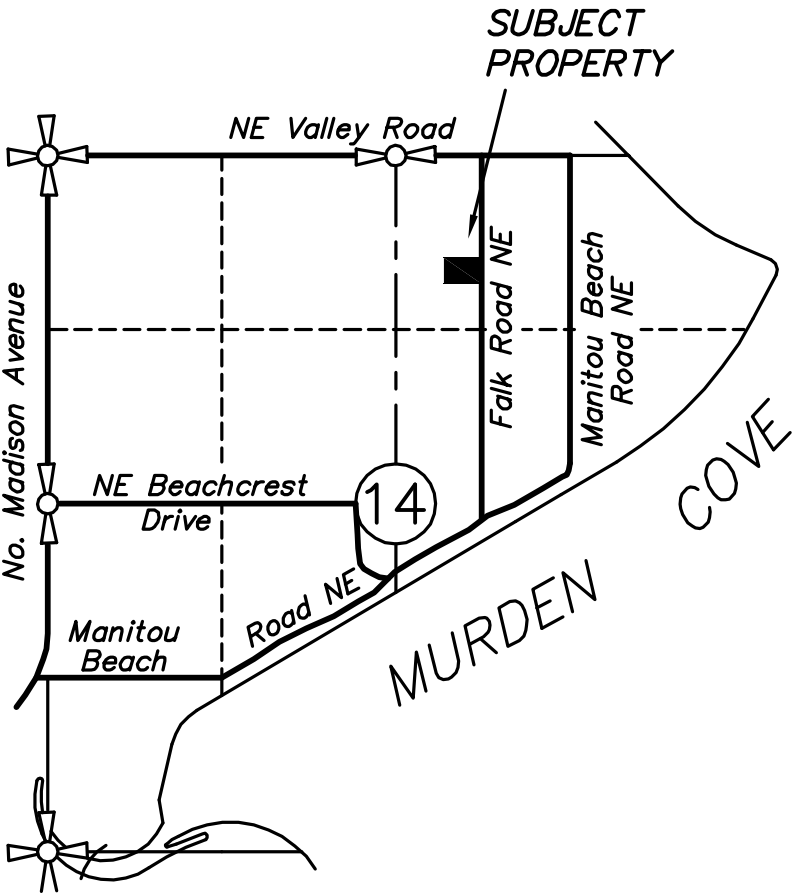
SECTION SUBDIVISION
&
INDEXING VICINITY MAP
SEC.14, T.25N., R.2E., W.M.

Legal Descriptions

Resultant Lundahl Parcel of Boundary Line Agreement recorded under Auditor's File No. 201309260238 and as depicted on survey recorded under Auditor's File No. 201309260239 in Volume 78 of surveys, Page 74, records of Kitsap County, Washington and situate in the Northwest quarter of the Northeast quarter of Section 14, Township 25 North, Range 2 East, W.M., City of Bainbridge Island, Kitsap County, Washington.

**National Flood Insurance
Program Designation**

Lots A & B: Zone X
Flood Insurance Rate Map 53035C0245F
Effective Date: February 3, 2017



VICINITY MAP
SEC.14, T.25N., R.2E., W.M.


**City of
Bainbridge Island**
Kitsap County, Washington
Assessor's Account No.142502-1-024-2009

Director's Approval
Approved for recording pursuant to Bainbridge
Island Municipal Code, Chapter 17.12.

Gary Christensen, A.I.C.P.
Director of Planning and Community Development
Date: _____

Notice
1. Responsibility and expense for maintenance of
streets serving lots within this Short Subdivision
(unless such roads have been accepted by the
City) shall rest with the lot owners.
2. Any further subdivision of lots within this
Short Subdivision shall be subject to the require-
ments of Section 2.16.070.L of the Bainbridge
Municipal Code.

Treasurer's Certificate
I hereby certify that real property taxes are
current for the subdivided property shown
hereon to:
Date: _____
Kitsap County Treasurer

Surveyor's Certificate

12/5/17

I, Gavin M. Oak, registered as a professional
land surveyor by the State of Washington, hereby
certify that this Short Plat is based upon an
actual survey of the land described herein,
conducted by me, or under my direct supervision,
during the period of March, 2017 through
December, 2017, that the distances, courses and
angles are shown hereon correctly, and that the
lot corners have been staked on the ground as
depicted hereon.

Auditor's Certificate
Filed for record this ____ day of _____
2017, at the request of Adam~Goldsworthy~Oak.
Auditor's File No. _____

County Auditor by _____
Deputy Auditor

ADAM • GOLDSWORTHY • OAK
A G O LAND SURVEYING, LLC
1015 NE HOSTMARK ST. (360)779-4299
POULSBORO, WA 98370 (206)842-9598
DATE 12/5/17 FIELD BOOK
DRAWING 6228PSP1 SHEET 1 / 5

Karsten Preliminary Short Plat
NW 1/4, NE 1/4, Sec.14, T.25N., R.2E., W.M.
City of Bainbridge Island, Kitsap County, Washington

Notes

- 1) *This survey was accomplished by field traverse with a three second total station.*
- 2) *This survey conforms to the minimum field traverse standards for land boundary surveys as listed in WAC 332-130-090.*
- 3) *Refer to the Lundahl Boundary Line Adjustment recorded under Kitsap County Auditor's File Nos. 201309260238 and 201309260239.*
- 4) *Refer to the surveys recorded in Volume 20, Pages 88, 89, 90 and 91, and Volume 78, Page 74 of surveys, records of Kitsap County, Washington.*
- 5) *Open Space is privately owned by the lot on which it occurs on.*
- 6) *Easements depicted on the drawing are over, under and across the areas shown for the purposes stated. Access and utilities easements refer to easements for ingress, egress and utilities. The 20' access and utilities easement over the South portion of Lot B benefits Lot A.*

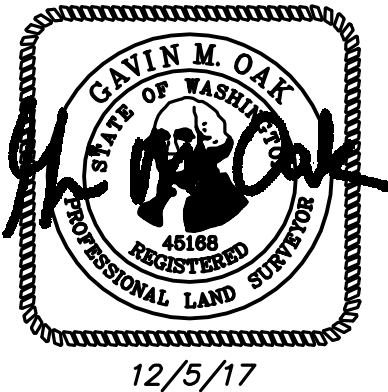
Conditions

Minimum Building Separation and Setbacks

- Building to Building – 0 feet, or minimum required by fire code.*
Building to subdivision boundary – Minimum of 15 feet
Building to streets – Minimum of 15 feet
Building to access easement – Minimum of 10 feet
Building to Open Space – Minimum 10 feet

Lot Coverage

Maximum lot coverage for each lot: 4,102 square feet



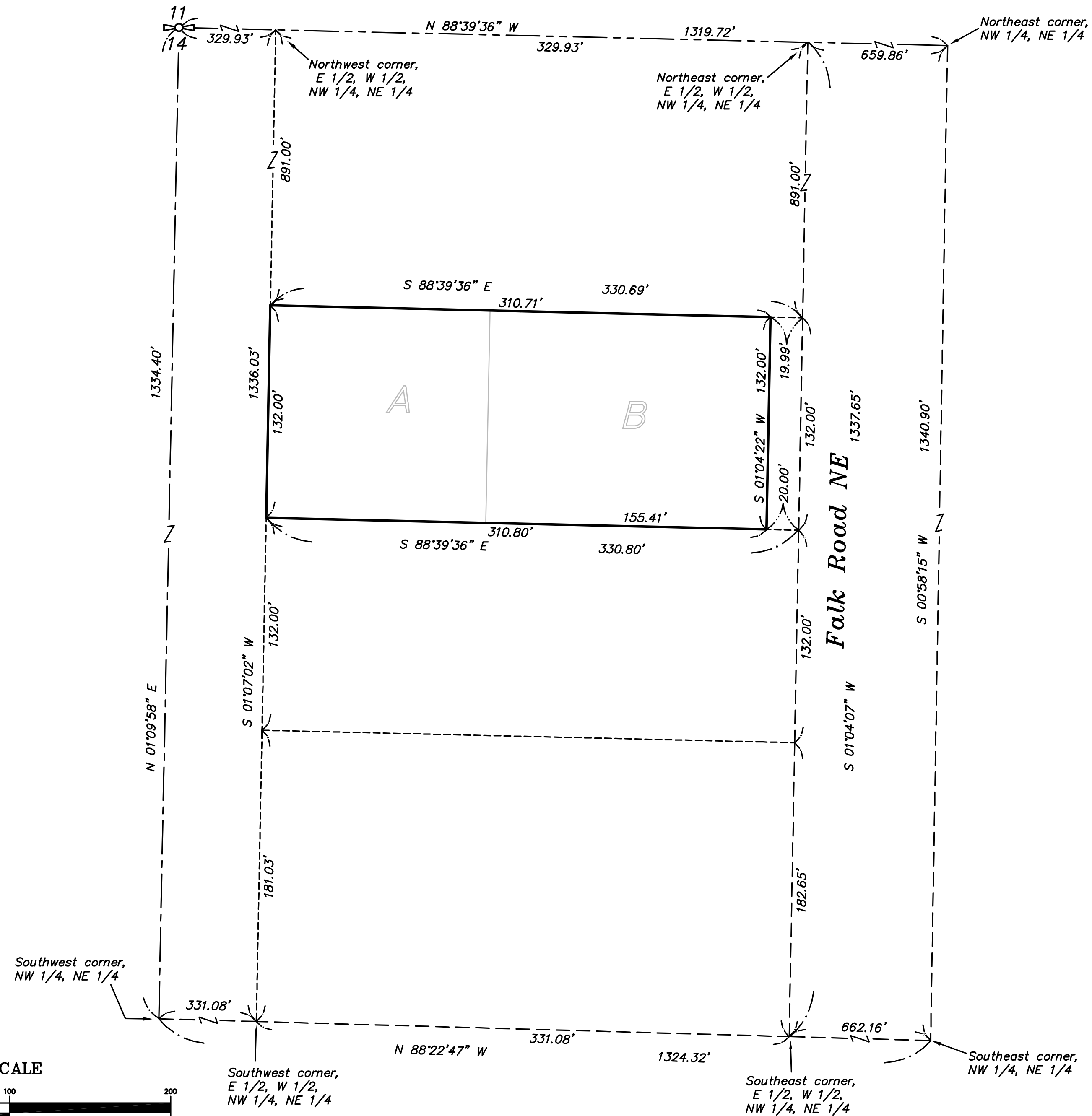
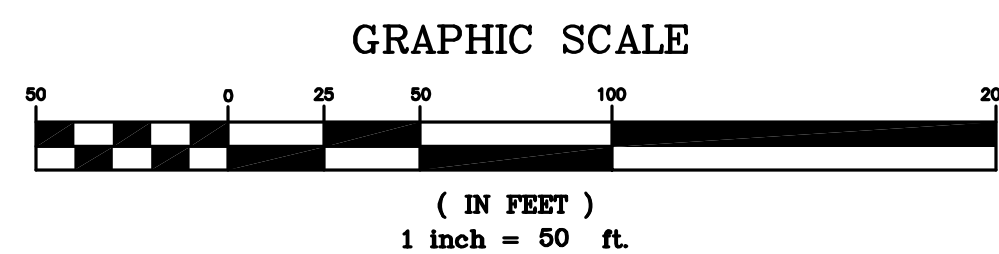
ADAM • GOLDSWORTHY • OAK
A G O LAND SURVEYING, LLC

1015 NE HOSTMARK ST. (360)779-4299
POULSB0, WA 98370 (206)842-9598

DATE 12/5/17 FIELD BOOK --
DRAWING 6228PSP2 SHEET 2 / 5

Karsten Preliminary Short Plat
NW 1/4, NE 1/4, Sec.14, T.25N., R.2E., W.M.
 City of Bainbridge Island, Kitsap County, Washington

Scale: 1" = 50'
 Assumed

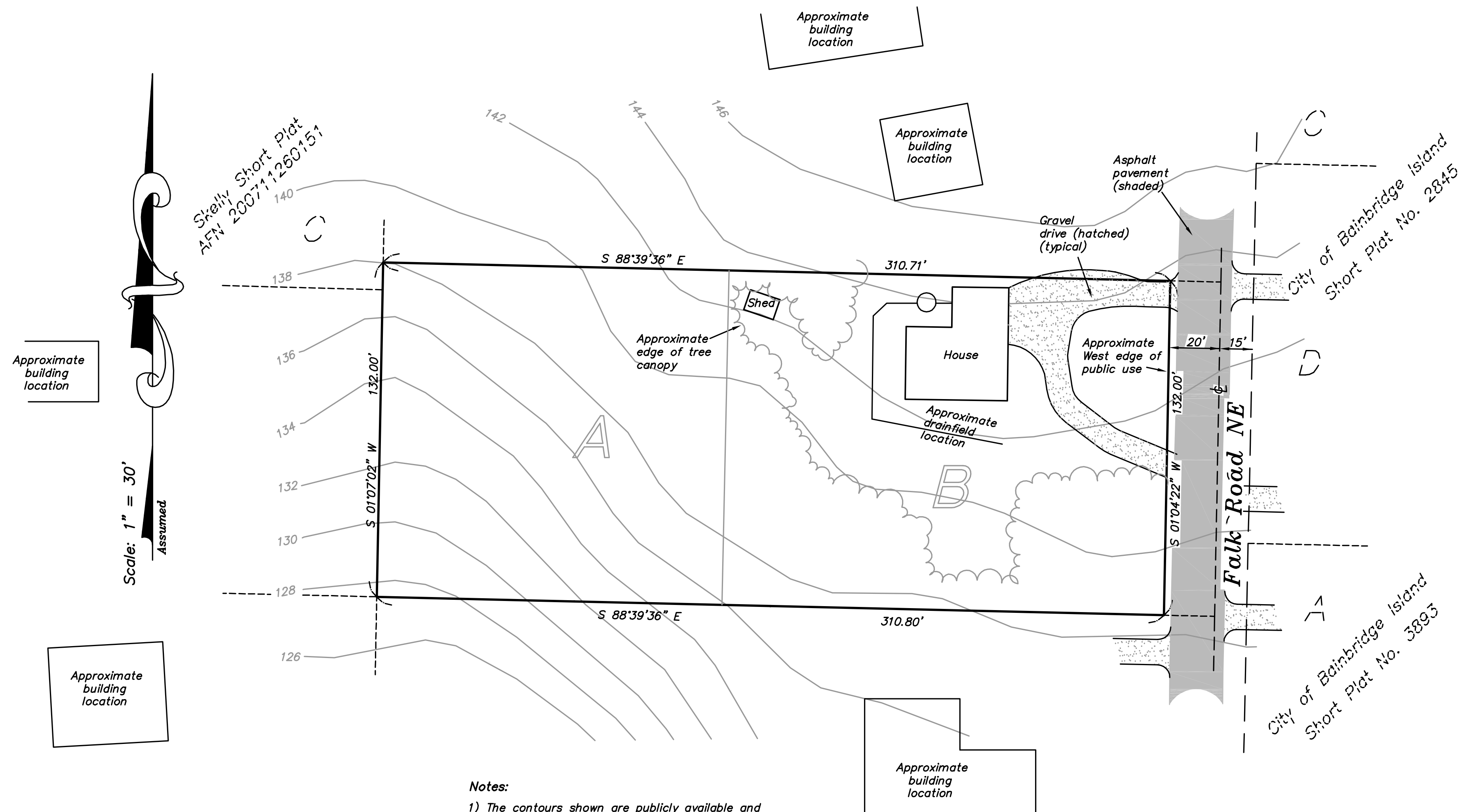


ADAM • GOLDSWORTHY • OAK
 A G O LAND SURVEYING, LLC
 1015 NE HOSTMARK ST. (360)779-4299
 POULSBORO, WA 98370 (206)842-9598

DATE 12/5/17 FIELD BOOK --
 DRAWING 6228PSP3 SHEET 3 / 5

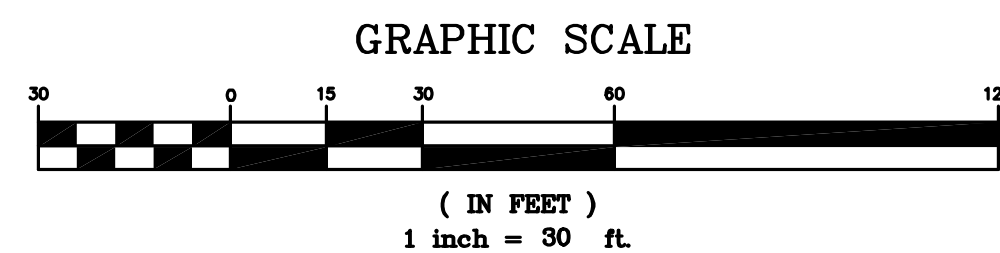
City of Bainbridge Island, Kitsap County, Washington

Existing Conditions



Notes:

- 1) The contours shown are publicly available and were not field verified.
- 2) Buildings, driveways and drainfield locations are approximate only.
- 3) The property is mostly wooded with a residential site in the Easterly portion, all the adjacent lots are wooded with residential sites.



ADAM • GOLDSWORTHY • OAK

A G O LAND SURVEYING, LLC

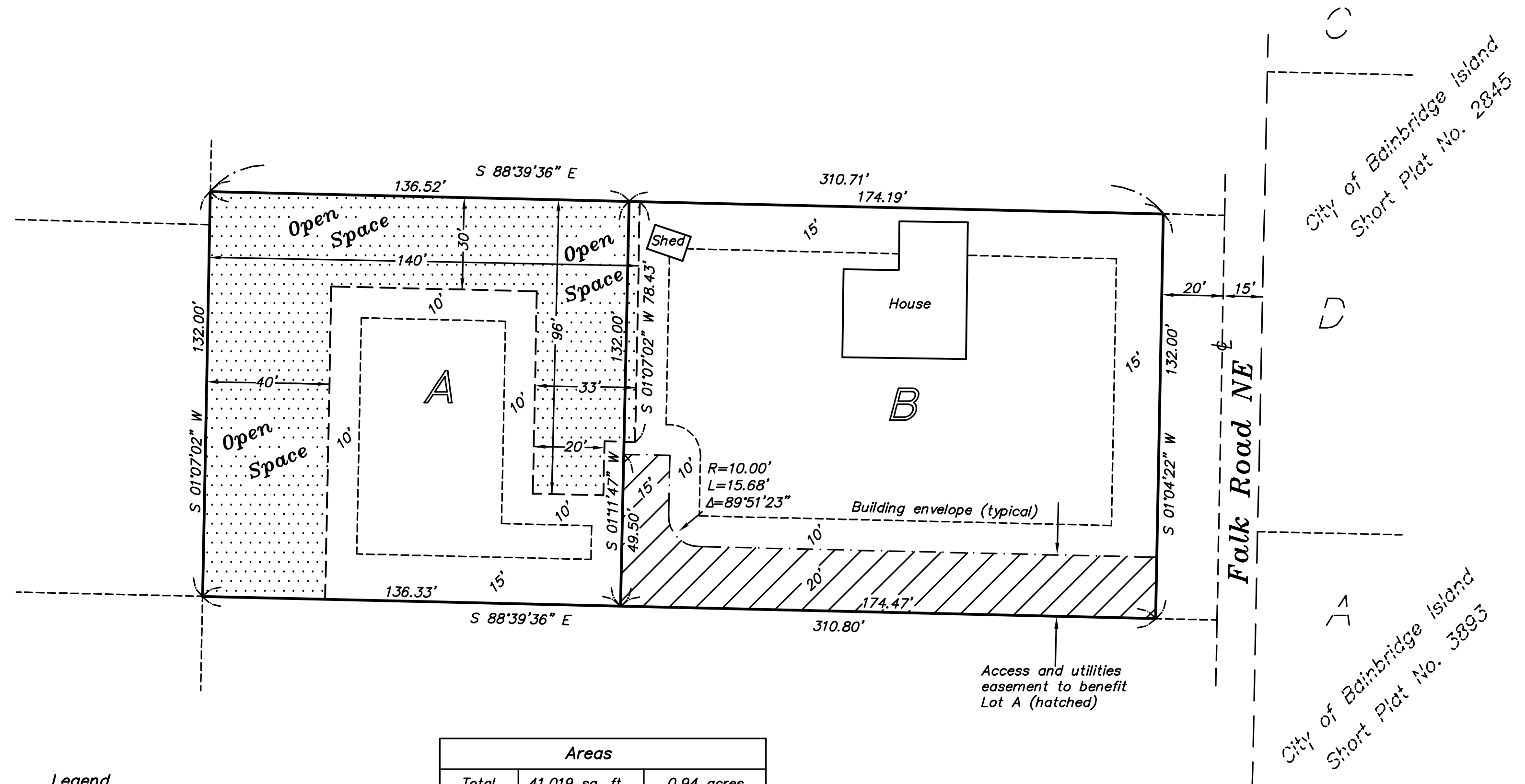
1015 NE HOSTMARK ST. (360)779-4299
POULSBO, WA 98370 (206)842-9598

DATE 12/5/17 FIELD BOOK --
DRAWING 6228PSP4 SHEET 4 / 5

Karsten Short Plat
NW 1/4, NE 1/4, Sec.14, T.25N., R.2E., W.M.
 City of Bainbridge Island, Kitsap County, Washington

Lot Details

Scale: 1" = 30'
Assumed

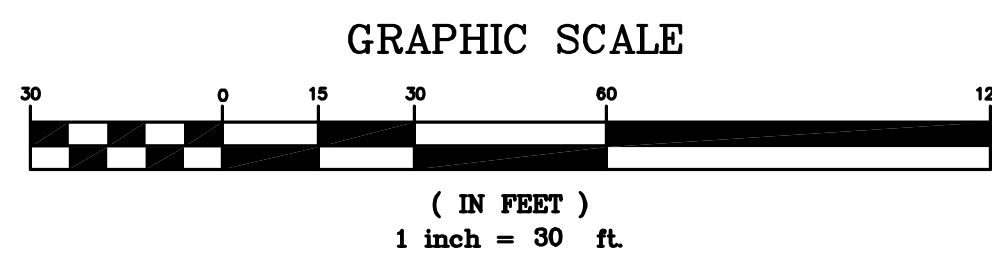


Legend

- = Open Space area
- = Access and utilities easement

Areas		
Total	41,019 sq. ft.	0.94 acres
Lot A	18,008 sq. ft.	0.41 acres
Lot B	23,011 sq. ft.	0.53 acres
Open Space	10,282 sq. ft.	(25%)

Note: Open Space is privately owned by the lot on which it occurs.



ADAM • GOLDSWORTHY • OAK
 A G O LAND SURVEYING, LLC

1015 NE HOSTMARK ST. (360)779-4299
 POULSBORO, WA 98370 (206)842-9598

DATE 12/5/17 FIELD BOOK --
 DRAWING 6228PSP5 SHEET 5 / 5



REFERENCE D



City of Bainbridge Island

Department of Planning & Community Development
280 Madison Avenue North, Bainbridge Island, WA 98110

Phone: 206-842-2552 Email: pcd@bainbridgewa.gov

Website: www.bainbridgewa.gov

Portal: <https://ci-bainbridgeisland-wa.smartgovcommunity.com/portal>

NOTICE OF COMPLETE APPLICATION

January 3, 2018

File Name: **Karsten Short Plat SPT**
Project Number: **PLN50875 SPT**
Submitted: December 6, 2017

The application for the above referenced project is complete in accordance with the submittal requirements located in the Bainbridge Island Administrative Manual. A determination of a complete application does not preclude the department from requesting additional information or studies:

Pursuant to *Bainbridge Island Municipal Code* Section 2.16.020(K), the applicant must post a legal notice of application on the property within five days of the publication of notice. The City will provide the notice boards and posting instructions, you must provide the stake/post. The City will contact you when the notice boards are prepared.

Correspondence concerning this application should make reference to both the file number and file name shown above.

Thank you,

Annie Hillier, (206) 780-3773, ahillier@bainbridgewa.gov



REFERENCE E

To: LEGAL NOTICES

Publication Date: January 12, 2018

NOTICE OF APPLICATION

The City of Bainbridge Island has received the following land use application:

Date of Issuance: January 12, 2018
Project Name & Number: Karsten Short Plat SPT PLN50875 SPT
Project Type: Preliminary Short Plat
Applicant: KARSTEN CAMERON J & LILY C
Owner: KARSTEN CAMERON J & LILY C
Project Site & Tax Parcel: 10871 Falk Rd NE, TA#14250210242009

Project Description: Divide property into 2 parcels with open space.

Environmental Review: This proposal is exempt from review under the State Environmental Policy Act (SEPA) pursuant to WAC 197-11-800.

Other Permits/Studies:

Meeting: The City of Bainbridge Island will not conduct a public hearing concerning this proposal.

Comment Period: Any person may comment on the proposed application, request a copy of any decision or appeal any decision, request notice of and participate in a public hearing, if any. **The city will not act on the application for 21 days from the date of this notice. Comments must be submitted by no later than 4:00 p.m. on 02/02/2018.**

**If you have any questions,
contact:**

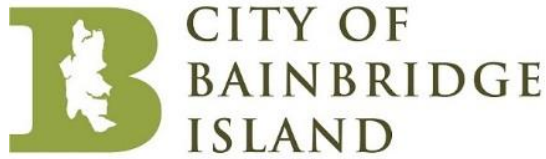
Annie Hillier

Department of Planning &
Community Development
280 Madison Avenue North
Bainbridge Island, WA 98110
206-780-3750 or
pcd@bainbridgewa.gov





REFERENCE F



March 30, 2018

Cameron and Lily Karsten
10871 Falk Road NE
Bainbridge Island, WA 98110

Re: Karsten Short Plat SPT PLN50875 SPT

Dear Lily and Cameron,

This letter is in regards to your application for preliminary plat for the parcel located at 10871 Falk Road NE, parcel number 14250210242009. This application was submitted on December 6, 2017. The application was deemed complete on January 3, 2018.

Pursuant to Bainbridge Island Municipal Code (BIMC) 2.16.070.G.1 applications for preliminary short subdivisions will be approved, disapproved, or returned to the applicant for modification within 90 calendar days from the filing of a complete application. If no action is taken to approve or disapprove the application within the 90 calendar days (April 3, 2018), then the city must notify the applicant of the reasons for the delay and steps necessary to complete the application.

This letter is to notify you of the delay due to the following reasons:

- The application is still under review by the City Surveyor
- The application is still under review by the City Development Engineer

In order to complete the Staff Report and provide a recommendation, comments from these reviewers are required. I have been informed that these reviews should be complete in approximately 9 weeks. Given this review timeline; the finalization of the Staff Report; and review of the Staff Report by the Planning Manager and Director, the estimated date of decision is 10 weeks from the date of this letter, or June 8, 2018.

Please do not hesitate to contact me if you have any questions or concerns at ahillier@bainbridgewa.gov or (206)780-3773.

Sincerely,

A handwritten signature in black ink, appearing to read 'Annie Hillier', written in a cursive style.

Annie Hillier, Planner

Planning and Community Development
280 Madison Avenue North
Bainbridge Island, Washington 98110-1812
www.bainbridgewa.gov
206.842.7633



REFERENCE G

Karsten Final Short Plat

City of Bainbridge Island
Open Space Management Plan

Application File No.
PLN _____ FSPT

DATE: December 5, 2017

APPLICANT: Cameron & Lily Karsten
10871 Falk Road
Bainbridge Island, WA 98110

OPEN SPACE OWNERSHIP AND MANAGEMENT ENTITY:

The open space will be privately owned and managed by the owners of the lot on which it occurs. Open space access is restricted to the owners of the open space and their invited guests. The owners of the open space shall be responsible for the maintenance of the open space in accordance with the Open Space Management Plan.

APPROVED USES WITHIN OPEN SPACE AREA

1. Passive recreation, including pervious trails.
2. Agricultural uses and fencing necessary for animal control, excepting those agricultural uses that require permanent buildings.
3. Potable water wells and well houses.
4. Low impact fencing or signs marking the open space boundary.
5. On-site sewage treatment system use approved by the Director (Consistent with BIMC 17.12.030.A.7.e).
6. Storm drainage system use approved by the Director (Consistent with BIMC 17.12.030.A.7.f).
7. Playgrounds and tot lots, picnic shelters and benches, community gardens, bus shelters,

Karsten Final Short Plat
Open Space Management Plan

community art, or fountains may be allowed within a designated open space area, provided the proposed use will not adversely affect the function or characteristics of the specific open space.

8. Solar panels, small wind energy generators, composting bins, rainwater harvesting barrels, cisterns, and rain gardens/swales, as defined in BIMC 18.36, may be allowed within a designated open space area, provided the proposed feature will not result in the damage or removal of significant trees.
9. Planting of native vegetation.
10. Planting of non-invasive, non-native vegetation.
11. Removal of invasive vegetation.

LIMITATIONS

1. Buildings are not permitted within any open space areas (except well houses and picnic shelters).
2. Existing vegetation shall be retained and maintained except for City-approved driveways, utility corridors, and trails. No cutting or clearing or other removal of existing and/or native vegetation shall be allowed in the designated open space in order to provide lawns, gardens, patios, decks, recreation facilities, or other built features.
3. All trees within the open space are required to be retained in perpetuity. Hazard tree removal may be allowed only with City approval and appropriate replanting provisions in BIMC 18.15.010.C. If trees required to be retained are not retained or if protection measures are not fully implemented, requirements for unauthorized removal provided in BIMC 18.15.010.C. shall apply.
4. No construction activities or staging shall be permitted in the open space. Prior to construction on Lot A, temporary chain link fencing, orange construction fencing, or other construction fencing satisfactory to the Director, shall be placed around all of the open space. Hazard trees within the open space can and should be removed with the approval of the Director during the clearing and grading phase of construction.

OPEN SPACE MAINTENANCE PLAN

The open space shall be maintained by the owner of the open space on which it occurs. Maintenance activities shall include, at a minimum, annual inspections of open space areas for

Karsten Final Short Plat
Open Space Management Plan

compliance with the Open Space Management Plan. If the open space is not maintained consistent with this Open Space Management Plan, the City shall have the right to provide the maintenance thereof, and bill the owner of the open space for the cost of the maintenance.

SIGNATURES

Cameron Karsten

Lily Karsten

Date

State of Washington
County of Kitsap

I certify that I know or have satisfactory evidence that Cameron & Lily Karsten are the persons who appeared before me, and said persons acknowledged that they signed this instrument and acknowledged it to be their free and voluntary act for the uses and purposes mentioned in the instrument.

Dated: _____

Notary Public in and for the State of Washington

Residing in _____

My appointment expires _____

Karsten Final Short Plat
Open Space Management Plan

ADMINISTRATIVE APPROVAL

I have reviewed and considered the proposed Open Space Management Plan consistent with the requirements and standards contained in Title 17 of the Bainbridge Island Municipal Code. I hereby approve the Open Space Management Plan.

Gary R. Christensen, AICP, Director
Planning & Community Development

Date

State of Washington
County of Kitsap

I certify that I know or have satisfactory evidence that Gary R. Christensen, Director, City of Bainbridge Island Planning and Community Development, is the person who appeared before me, and said person acknowledged that he signed this instrument and acknowledged it to be his free and voluntary act for the uses and purposes mentioned in the instrument.

Dated: _____

Notary Public in and for the State of Washington
Residing in _____
My appointment expires _____

Karsten Final Short Plat
Open Space Management Plan



REFERENCE H

PRELIMINARY UTILITY REPORT

KARSTEN SHORT PLAT

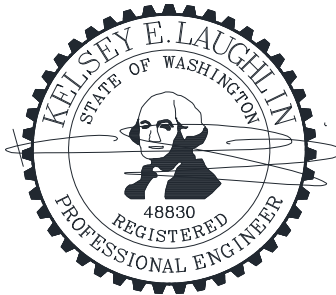
PRELIMINARY SHORT PLAT SUBMITTAL

Owner & Applicant:

Lilt & Cameron Karsten
10871 Falk Road
Bainbridge Island, WA 98110
Cameron.karsten@gmail.com
Lily.karsten@gmail.com

Engineer:

SEABOLD
ENGINEERING LLC



PO Box 445
Indianola, WA 98342
360.930.4668
Kelsey@SeaboldEng.com

Date:
December 6, 2017

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FRONTAGE IMPROVEMENTS.....	2
SITE ACCESS.....	2
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FIGURE 2 - PROPOSED SITE CONDITIONS	4
ONSITE UTILITIES	5
WATER	5
SANITARY SEWER.....	5
STORM DRAINAGE	5
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PROJECT DESCRIPTION

This report presents the preliminary drainage, utility and access design for the Karsten preliminary short plat located at 10871 Falk Road on Bainbridge Island. The short plat will be dividing one existing residential parcel into two residential parcels.

A new access driveway near the south property line will be constructed to access the proposed lot on the western portion of the property. Improvements will consist of a 12-ft wide driveway with the center 3.5-ft vegetated to infiltrate stormwater like a linear rain garden. A modified hammerhead firetruck turnaround will be located at the new property line.

EXISTING CONDITIONS

The project site consists of one rectangular parcel with one existing single family residence fronting Falk Road along the eastern property line (see Figure 1). The project area is approximately 0.94-acres, with tax parcel ID 142502-1-024-2009 which is in Section 14, Township 25 North, Range 2 East. Zoning is R-2, 2 dwelling units per acre. Adjacent properties to the north, south and west are developed with single family residences.

The existing residence has a gravel driveway and either lawn or landscaping for the majority of the eastern half of the property. The western half of the property is vegetated with mature Douglas Fir, Madrona, Cedar, Maple trees, some shrubs and English Ivy ground cover.

The land slopes gently on the eastern portion of the property and steepens to about 10% near the southwestern property corner. Soils on-site mapped by the USDA Natural Resources Conservation Service are Harstine gravelly ashy sandy loam.

FRONTAGE IMPROVEMENTS

Existing

Falk Road is in an existing 30-ft right-of-way and improved with asphalt driving lanes.

Proposed

Falk Road is classified as a residential suburban roadway which has a required right-of-way width of 30-ft, therefore no right-of-way dedication is required. The City has not requested any additional frontage improvements.

SITE ACCESS

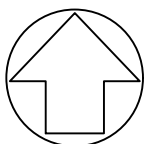
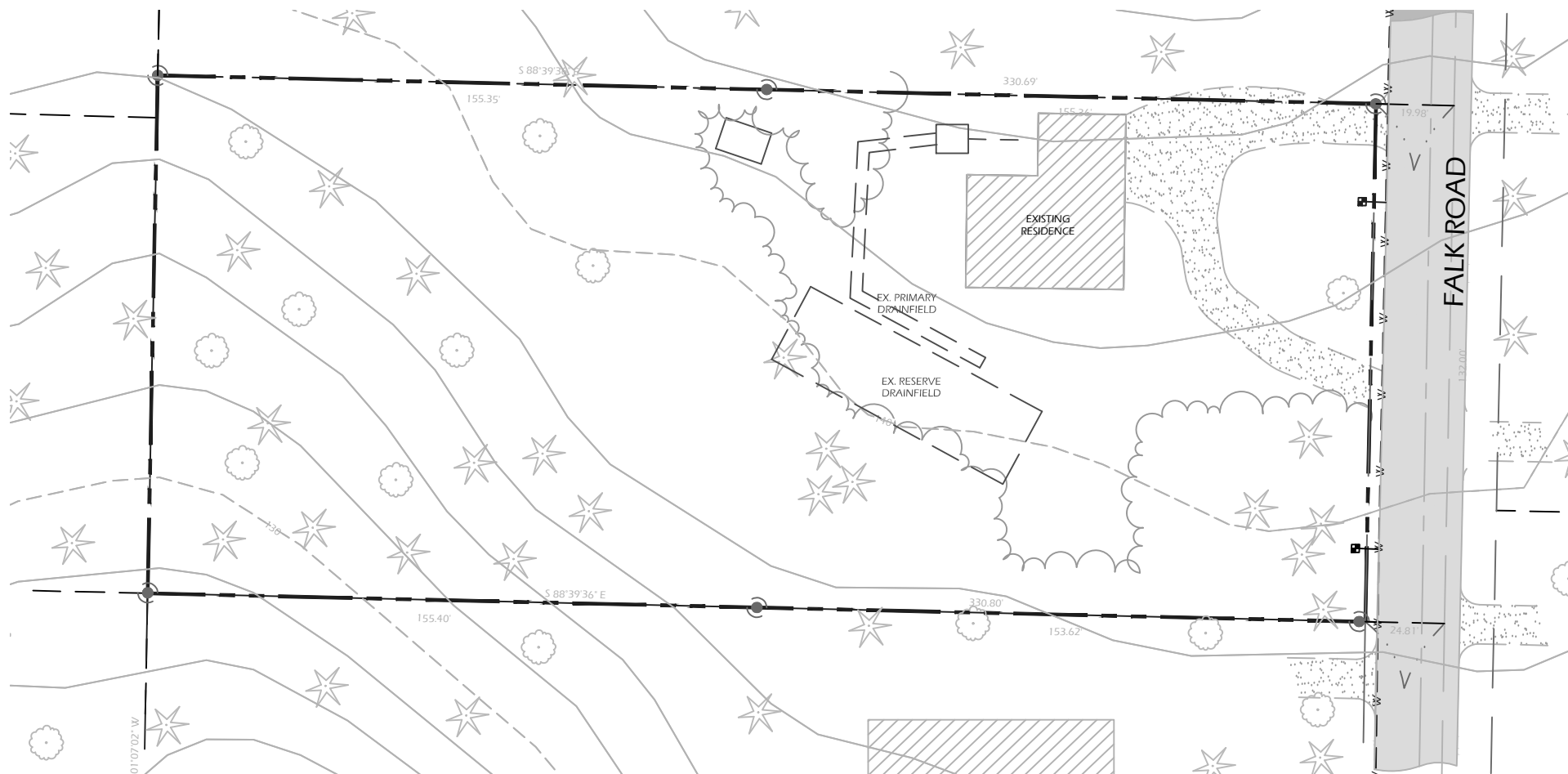
Existing

The existing residence gains access off Falk Road.

Proposed

A new driveway to access the new lot will be located near the southern property line within a 20' easement. The driveway will have a total width of 12-ft and will have a vegetated center strip to reduce impervious area and infiltrate stormwater (see Figure 2). The new driveway will have a 20-ft long paved driveway apron in accordance with COBI DCSS dwg 8-170. The existing residence will continue to gain access off Falk Road.

The 12-ft wide driveway meets fire access width requirements and since the driveway is greater than 150-ft long, a modified hammerhead turnaround is proposed.

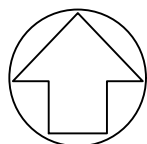
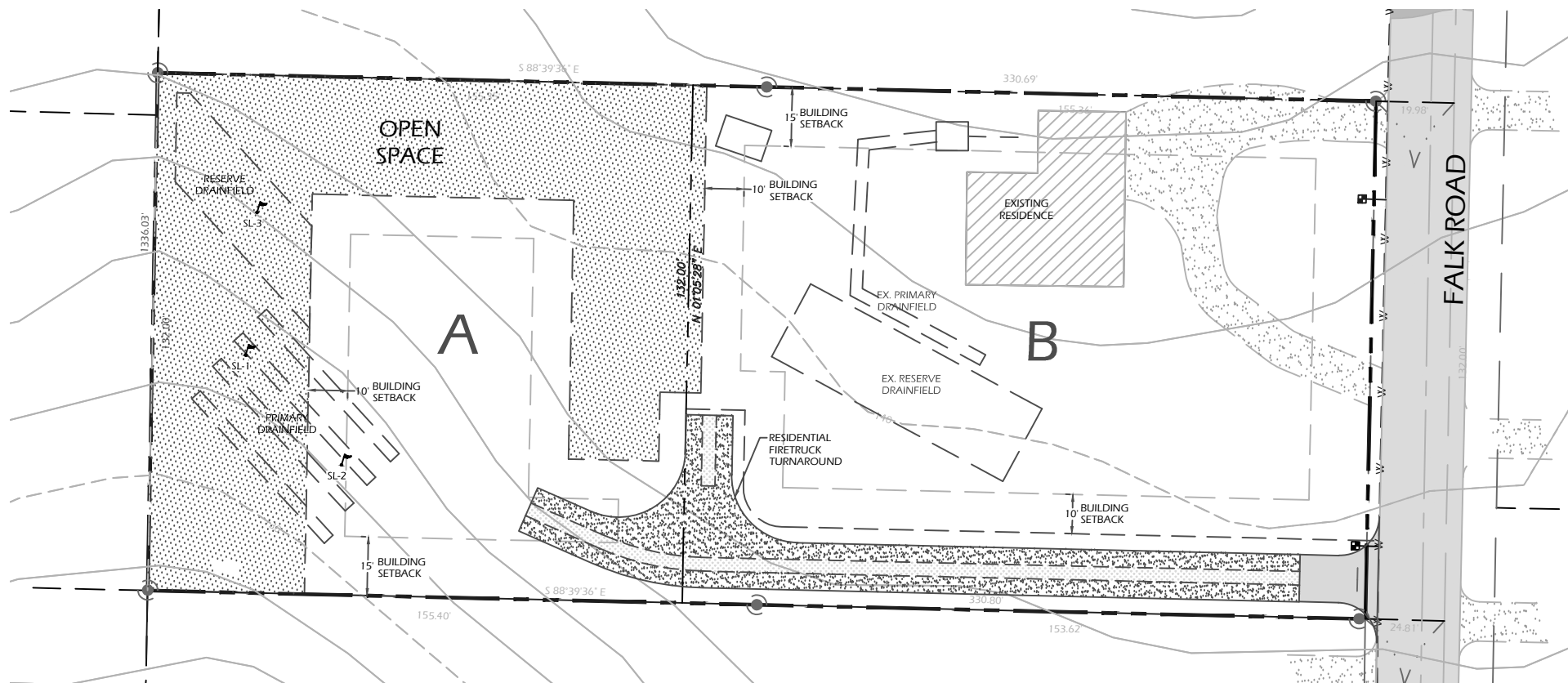


0 20 40 80

TOPOGRAPHY BASED ON KITSAP
COUNTY PUD AERIAL LIDAR 2-FT
CONTOURS, NOT A SURVEY.
DATUM: NAVD88
SCALE: 1" = 40'

FIGURE 1
EXISTING CONDITIONS
KARSTEN SHORT PLAT

SEABOLD
ENGINEERING LLC
PO BOX 445 INDIANOLA, WA 98342
360.930.4668 ENGINEER@SEABOLDENG.COM



0 20 40 80

TOPOGRAPHY BASED ON KITSAP
COUNTY PUD AERIAL LIDAR 2-FT
CONTOURS, NOT A SURVEY.
DATUM: NAVD88
SCALE: 1" = 40'

FIGURE 2 PROPOSED CONDITIONS KARSTEN SHORT PLAT

SEABOLD
ENGINEERING LLC
PO BOX 445 INDIANOLA, WA 98342
360.930.4668 ENGINEER@SEABOLDENG.COM

ONSITE UTILITIES

WATER

Existing

A 6-inch water main is located along the western side of Falk Rd right-of-way. The water main is part of the KPUD water system.

The existing residence has a water meter providing service to it.

Proposed

One new water meter will be required to provide water service to the future residence. No water main extensions are required. A fire hydrant is proposed approximately 400-ft north of the property along Falk Road which will be served by a water main on a higher pressure than the 6-inch water main along the frontage.

SANITARY SEWER

Existing

The existing residence has an on-site septic system.

Proposed

The future residence has an on-site septic system designed by Miller Bay Water Company.

STORM DRAINAGE

Upstream System

Approximately 1.1-acres drain in a dispersed manner toward the property (see Figure 3). The uphill drainage area consists of primarily single family residential properties. No evidence of channelized runoff was observed.

Existing System

The site sheet flows surface water runoff in a dispersed manner primarily south.

Downstream System

Any runoff from the site leaves in a dispersed manner through a grass and treed area on the adjacent property to the south. Runoff continues south to a closed depression north of Duncan Lane.

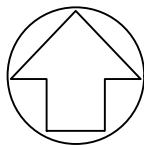
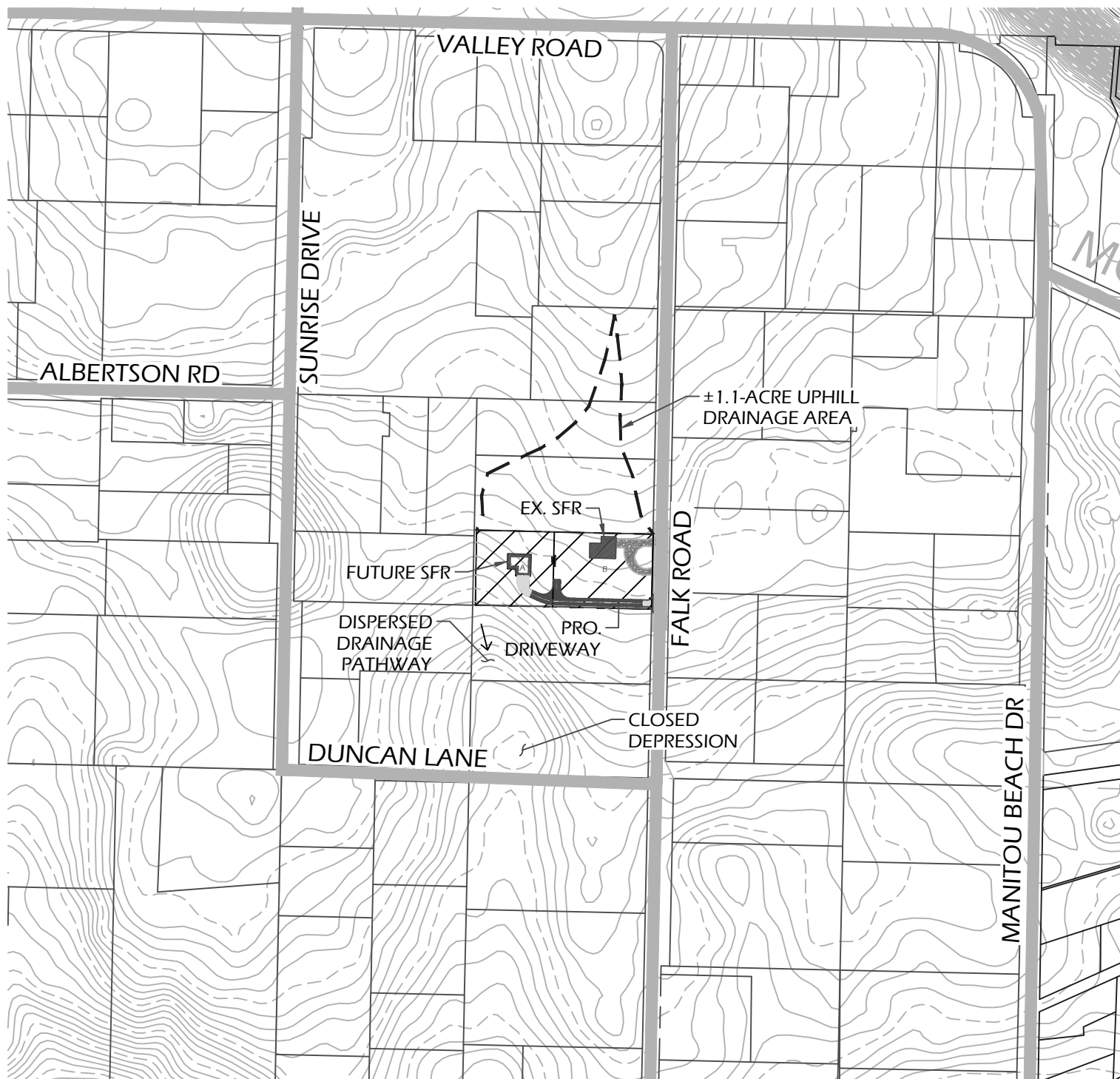
Proposed System

The new access driveway is proposed to have a linear rain garden along it's length to infiltrate 100% of the runoff from the gravel driveway, as modeled with Western Washington Hydrology Model (WWHM 2012). The vegetated center strip minimizes new impervious area and facilitates stormwater runoff infiltration into the native soils.

Threshold Determination

The project is considered New Development because the site has less than 35% existing impervious area coverage, according to the currently adopted 2014 Department of Ecology Stormwater Management Manual for Western Washington (SWMMWW). The proposed access driveway will create approximately 2,480-sf of new hard surface area.

Based on BIMC 15.20.060, the project is required to meet Minimum Requirements No.'s 1 - 5. Table 1 outlines how the design meets each Minimum Requirement.



DRAINAGE MAP

TOPOGRAPHY BASED ON KITSAP COUNTY PUD
AERIAL LIDAR 2-FT CONTOURS, NOT A SURVEY.

DATUM: NAVD88

SCALE: 1" = 250'

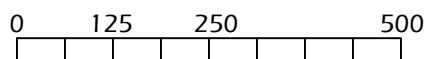


FIGURE 3
DRAINAGE MAP
KARSTEN SHORT PLAT

SEABOLD
ENGINEERING LLC
PO BOX 445 INDIANOLA, WA 98342
360.930.4668 ENGINEER@SEABOLDENG.COM

Table 1 – Minimum Requirement Summary

Minimum Requirement	
1. Preparation of Stormwater Site Plan	See Utility Plan and this report. A detailed stormwater drainage plan will be developed during construction design documents.
2. Construction Stormwater Pollution Prevention Plan	A detailed TESC Plan will be developed during plat utility design documents.
3. Source Control of Pollution	Not applicable.
4. Preservation of Natural Outfalls	All stormwater will continue to discharge in the natural direction from the site.
5. On-site Stormwater Management	See Table 2 for on-site BMP selection.

Table 2 presents an amended List #1 from Volume I of the 2014 SWMMWW as well as on-site stormwater management BMP applicability and BMP selection explanation.

Table 2 - List #1 from Volume I 2014 SWMMWW, as amended for clarity

Surface Type & On-Site BMP*	BMP Selection Explanation
Driveway/Hard Surfaces:	
1. BMP T5.30 - Full Dispersion	Not selected. Site design does not allow adequate native vegetation retention.
2. BMP T5.14 Rain gardens or Bioretention with minimum surface area below overflow of 5% of area directed to facility. or BMP T5.15 - Permeable Pavement	Selected. Driveway will have a vegetated center strip to function as a linear rain garden to infiltrate stormwater into native soils. The linear rain garden is equivalent to 30% of the area directed to it. Not applicable.
3. BMP T5.12 - Sheet Flow Dispersion	Not applicable.

*As indicated by the 2014 SWMMWW, BMP's are considered in the order listed for each type of surface. The first feasible BMP shall be selected and no other On-Site Stormwater Management BMP's are necessary for those surfaces.

The gravel driveway surface area of 2,480-sf will be graded to drain to the center rain garden strip to infiltrate stormwater into the native soils. The 'Linear Rain Garden Sizing' on page 8 illustrates WWHM2012 models 100% of the runoff on record will infiltrate into native soils using 4-inches of rain garden soil over 6-inches of clean gravel.

BMP T5.14A: Rain Gardens design guidelines indicates to follow the Rain Garden Handbook for Western Washington 2013 (RG HWW) for rain garden specification and construction guidance.

Following the soil testing procedures in the RG HWW, two soil tests were completed December 5, 2017 to determine the native soils infiltration rates. Both tests averaged approximately 18-inches per hour (in/hr) infiltration rate into the native soil. Sizing of the linear rain garden in the WWHM2012 model conservatively assumed the native soils to have an infiltration rate of 2.5-in/hr, consistent with the maximum design infiltration rate in the RG HWW.

LINEAR RAIN GARDEN SIZING

WWHM2012 KARSTEN DWAY

File Edit View Help Summary Report

Basin Help

Schematic

SCENARIOS

☐ Predeveloped

☒ Mitigated

Run Scenario

Basic Elements

Pro Elements

LID Toolbox

Commercial Toolbox

Move Elements

Save x,y Load x,y

X: 10 Y: 6

Tue 2:39p - KARSTEN DWAY - Finish Mitigated

Basin 1 Mitigated

Subbasin Name: Basin 1 ☐ Designate as Bypass for POC

Flows To: Surface Interflow Groundwater

Surface retention 1 Surface retention 1

Area in Basin

☐ Show Only Selected

Available Pervious	Acres	Available Impervious	Acres
<input type="checkbox"/> A/B, Forest, Flat	0	<input type="checkbox"/> ROADS/FLAT	0
<input type="checkbox"/> A/B, Forest, Mod	0	<input type="checkbox"/> ROADS/MOD	0
<input type="checkbox"/> A/B, Forest, Steep	0	<input type="checkbox"/> ROADS/STEEP	0
<input type="checkbox"/> A/B, Pasture, Flat	0	<input type="checkbox"/> ROOF TOPS/FLAT	0
<input type="checkbox"/> A/B, Pasture, Mod	0	<input checked="" type="checkbox"/> DRIVEWAYS/FLAT	0.0569
<input type="checkbox"/> A/B, Pasture, Steep	0	<input type="checkbox"/> DRIVEWAYS/MOD	0
<input type="checkbox"/> A/B, Lawn, Flat	0	<input type="checkbox"/> DRIVEWAYS/STEEP	0
<input type="checkbox"/> A/B, Lawn, Mod	0	<input type="checkbox"/> SIDEWALKS/FLAT	0
<input type="checkbox"/> A/B, Lawn, Steep	0	<input type="checkbox"/> SIDEWALKS/MOD	0
<input checked="" type="checkbox"/> C, Forest, Flat	0	<input type="checkbox"/> SIDEWALKS/STEEP	0
<input type="checkbox"/> C, Forest, Mod	0	<input type="checkbox"/> PARKING/FLAT	0
<input type="checkbox"/> C, Forest, Steep	0	<input type="checkbox"/> PARKING/MOD	0
<input type="checkbox"/> C, Pasture, Flat	0	<input type="checkbox"/> PARKING/STEEP	0
<input type="checkbox"/> C, Pasture, Mod	0	<input type="checkbox"/> POND	0
<input type="checkbox"/> C, Pasture, Steep	0	<input type="checkbox"/> Porous Pavement	0
<input type="checkbox"/> C, Lawn, Flat	0		
<input type="checkbox"/> C, Lawn, Mod	0		
<input type="checkbox"/> C, Lawn, Steep	0		
<input type="checkbox"/> SAT, Forest, Flat	0		
<input type="checkbox"/> SAT, Forest, Mod	0		
<input type="checkbox"/> SAT, Forest, Steep	0		

Pervious Total 0 Acres

Impervious Total 0.0569 Acres

Basin Total 0.0569 Acres

Deselect Zero Select By: GO

Schematic

SCENARIOS

☐ Predeveloped

☒ Mitigated

Run Scenario

Basic Elements

Pro Elements

LID Toolbox

Commercial Toolbox

Move Elements

Save x,y Load x,y

X: 10 Y: 18

Tue 5:21p - KARSTEN DWAY - Finish Mitigated

Bioretention 1 Mitigated

Facility Name: Bioretention 1

Downstream Connection: Outlet 1 0 Outlet 2 0 Outlet 3 0

Facility Type: Bioretention Swale

☐ Use simple Bioretention Quick Swale Size Water Quality Size Facility

☐ Underdrain Used

Bioretention Bottom Elevation: 0

Flow Through Underdrain (ac-ft): 0

Total Outflow (ac-ft): 0

Bioretention Dimensions

Bioretention Length (ft): 215.000

Bioretention Bottom Width (ft): 3.500

Freeboard (ft): 0.080

WQ Percent Filtered: 100

Over-road Flooding (ft): 0.000

Effective Total Depth (ft): 0.99

Bottom slope of bioretention (0-1): 0.013

Facility Dimension Diagram

☐ Sidewalk Invert Location

Front and Back side slope (H/V): 0.000

Left Side Slope (H/V): 0.000

Right Side Slope (H/V): 0.000

Material Layers for

	Layer 1	Layer 2	Layer 3
Depth (ft)	0.330	0.500	0.000
Soil Layer 1	SMMWV		
Soil Layer 2	GRAVEL		
Soil Layer 3	GRAVEL		

Edit Soil Types

KSet Safety Factor

☒ None ☐ 2 ☐ 4

Orifice

Number	Diameter (in)	Height (ft)
1	0	0
2	0	0
3	0	0

Show Bioretention ☐ Open Table

Bioretention Volume at Riser Head (ac-ft): .006

Native Infiltration ☒ Yes

Measured Infiltration Rate (in/hr): 2.5

Reduction Factor (infiltrator): 1

Use Wetted Surface Area (sidewalls): NO

Total Volume Infiltrated (ac-ft): 10.838

Total Volume Through Riser (ac-ft): 0

Total Volume Through Facility (ac-ft): 10.838

Percent Infiltrated: 100

Precipitation on Facility (acre-ft): 2.872

Evaporation from Facility (acre-ft): 0.785

FUTURE RESIDENTIAL CONSTRUCTION

Development of the lot created through this short plat will be determined by the purchaser. Preliminary residential construction for the lot is assumed to be 1,375-sf rooftop and 620-sf driveway for a total of 1,995-sf of hard surface areas. These are NOT the maximum allowed by code but are reasonable areas to fit within the buildable area of the lot. A project this size would also be required to follow the RG HWW for rain garden design.

Following the sizing criteria in the RG HWW requires soil testing, determining the rainfall region and selecting a performance level of the rain garden. As outlined above, soil tests resulted in infiltration rates greater than 2.5 inches per hour. The site is located in Region 3 of Western Washington with an average annual rainfall of 40 to 50-inches. BIMC 15.20.060(A)10 indicates the 'Best' performance level is required but 'Better' performance level is preferred; therefore, preliminary sizing was chosen to meet the 'Better' performance level.

Rain garden sizing per the RG HWW, taking this criteria into consideration, indicates a rain garden top of water surface area of 7% of the impervious area conveyed to it for the 'Better' option. For the preliminary proposed 1,375-sf rooftop, this equates to a 96-sf rain garden. The future driveway area could be pervious pavement or be routed to another rain garden. If a rain garden is chosen for the driveway area, it would need to be approximately 43-sf per the RG HWW. Figure 4 presents a drainage plan for the assumed future rooftop and driveway areas.

There was no presence of groundwater observed in the two test holes or the septic soil logs which were still exposed.

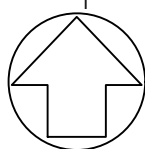
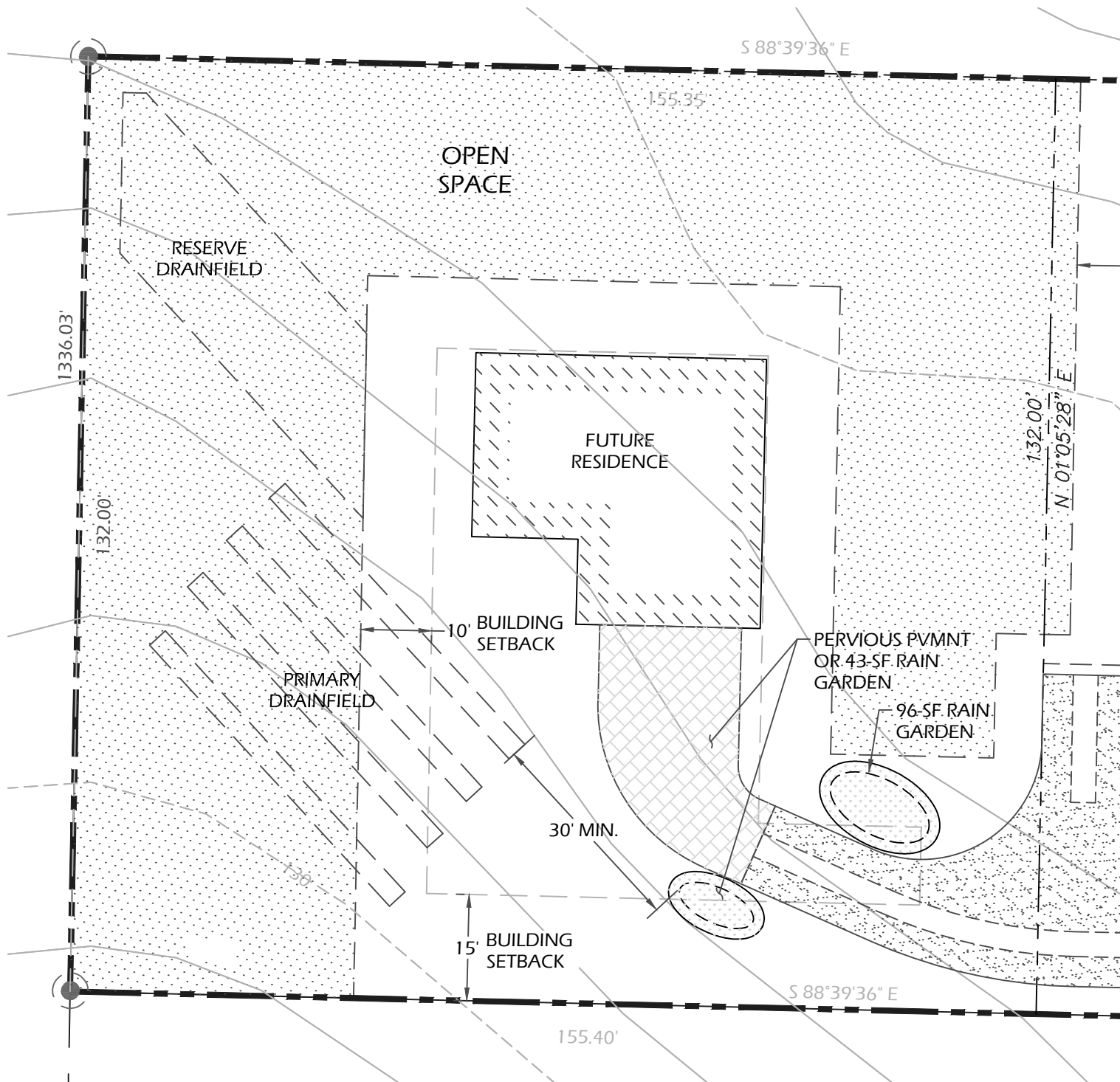
Rain garden sizing should be reevaluated at building permit submittal if the assumed areas differ from what is proposed at that time. The rain garden(s) should be planted with native, drought tolerant vegetation from the approved list of rain garden plants in the RG HWW.

OTHER SITE UTILITIES

Power, telephone and cable will be designed by others.

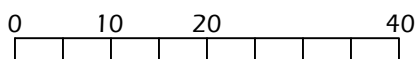
EROSION CONTROL

A detailed erosion and sediment control plan will be developed and submitted for plat utility permit.



SITE PLAN

TOPOGRAPHY BASED ON KITSAP COUNTY PUD
AERIAL LIDAR 2-FT CONTOURS, NOT A SURVEY.
DATUM: NAVD88
SCALE: 1" = 20'



ON-SITE STORMWATER BMP's

FUTURE ROOFTOP: 1,375-SF; 3.4%

96-SF RAIN GARDEN, BMP T5.14A

FUTURE DRIVEWAY: 620-SF; 1.5%

43-SF RAIN GARDEN, BMP T5.14A

OR PERVIOUS PAVEMENT, BMP T5.15

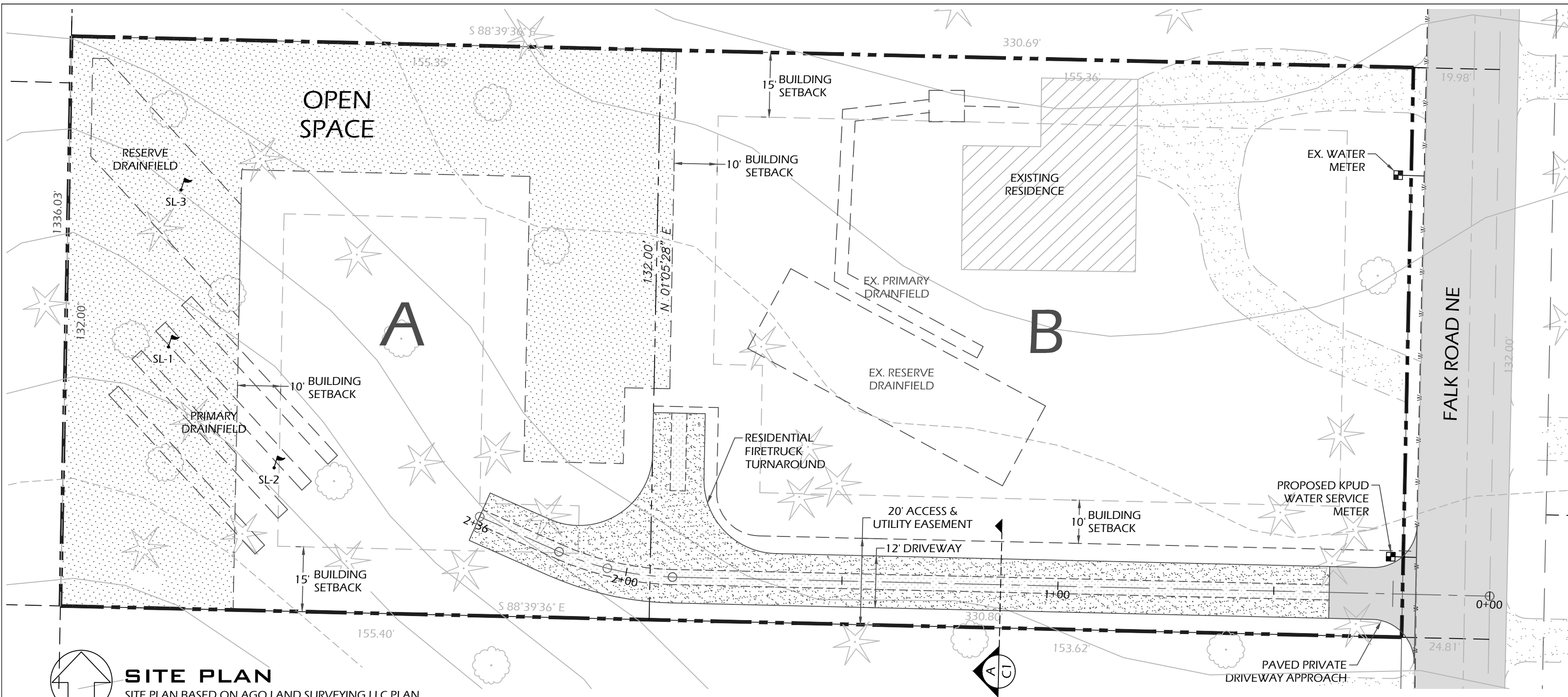
LANDSCAPING: SOIL AMENDMENT, BMP T5.13.

FIGURE 4
FUTURE S.F.R. DRAINAGE PLAN
KARSTEN SHORT PLAT

SEABOLD
ENGINEERING LLC
PO BOX 445 INDIANOLA, WA 98342
360.930.4668 ENGINEER@SEABOLDENG.COM



REFERENCE I



LEGEND	
	EXISTING PROPERTY LINES
	EXISTING EASEMENT
	EXISTING BUILDING
	EXISTING ROAD
	EXISTING PAVEMENT
	EXISTING GRAVEL
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED PROPERTY LINES
	BUILDING SETBACK
	PROPOSED DRIVEWAY

PARCEL INFORMATION
TAX ID: 142502-1-024-2009
AREA: 0.94-ACRES, APPROX. 40,982-SF
ZONING: R-2, 2 UNITS/ACRE (20,000-SF)
OPEN SPACE: 10,246-SFMIN. (25%)
CRITICAL AREAS: NONE LISTED.

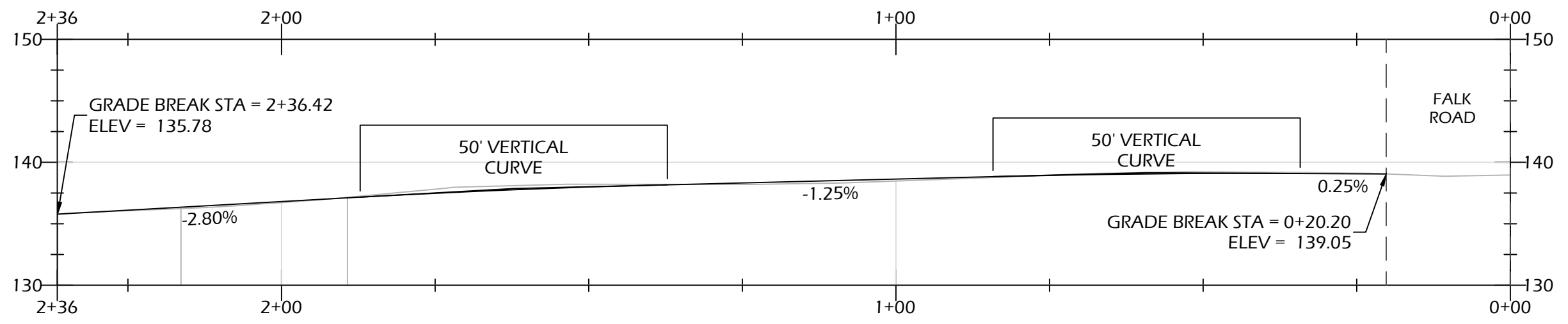
PROPOSED AREAS:
ACCESS DRIVEWAY: 2,480-SF; 6.1%

ON-SITE STORMWATER BMP'S:
ACCESS DRIVEWAY: RAIN GARDEN, BMP T5.14A,

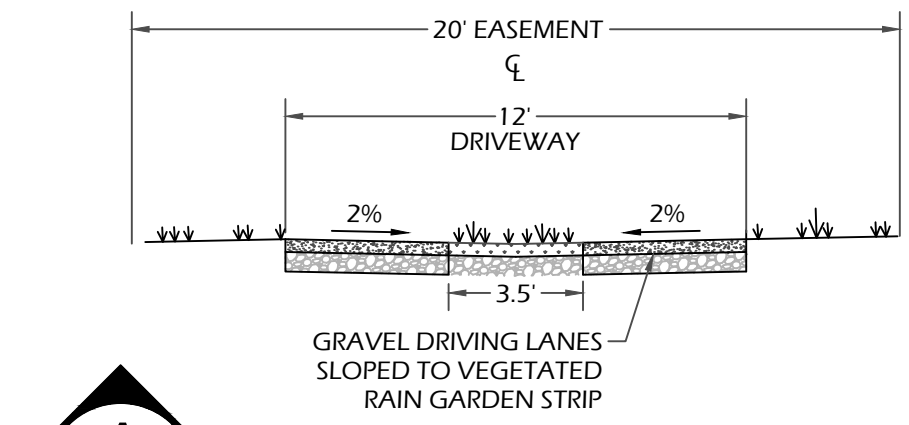
SITE PLAN
SITE PLAN BASED ON AGO LAND SURVEYING LLC PLAN DATED 12.4.2017, PUBLICLY AVAILABLE DATA & SITE OBSERVATIONS. TOPOGRAPHIC INFORMATION BASED ON KITSAP COUNTY PUD AERIAL LIDAR 2-FT CONTOURS, NOT A SURVEY. DATUM: NAVD88
SCALE: 1" = 20'

0 10 20 40

- NOTES:**
1. STORM DRAINAGE:
 - STORMWATER FROM NEW GRAVEL DRIVEWAY AREAS WILL INFILTRATE VIA THE VEGETATED CENTER RAIN GARDEN STRIP.
 - LOT A WILL INFILTRATE FUTURE IMPERVIOUS AREAS VIA PERVIOUS PAVEMENT &/OR RAIN GARDEN, SEE UTILITY REPORT FOR DETAILS.
 2. WATER SERVICE WILL BE PROVIDED BY KPUD THROUGH INSTALLATION OF NEW WATER METER. LOCATION WILL BE ON FALK ROAD & COORDINATED WITH KPUD.
 3. FIRE SUPPRESSION WILL BE MET BY THE INSTALLATION OF A FIRE HYDRANT LOCATED NORTH OF THE SITE & WITHIN 600-FT OF THE SITE. LOCATION WILL BE COORDINATED WITH THE FIRE MARSHAL.
 4. ON-SITE SEPTIC SYSTEM SHOWN APPROXIMATELY PER MILLER BAY WATER CO. PLAN DATED 11.6.2017.
 5. SEE SURVEY DRAWING FOR EXISTING & PROPOSED PROPERTY & EASEMENT DESCRIPTIONS.
 6. DETAILED EROSION & SEDIMENT CONTROL PLAN WILL BE DEVELOPED DURING PLAT UTILITY DESIGN PHASE.
 7. POWER, TELEPHONE & CABLE WILL BE DESIGNED BY OTHERS.

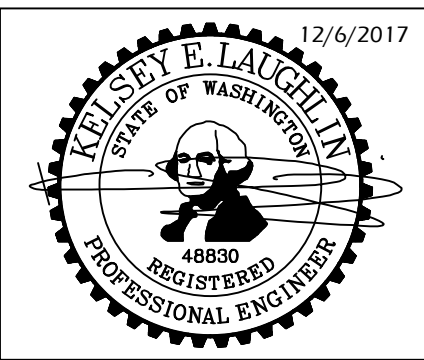


DRIVEWAY PROFILE
SCALE: 1" = 20' H
1" = 10' V
ELEVATIONS AT PROPOSED DRIVEWAY CENTERLINE



DRIVEWAY SECTION
SCALE: 1" = 5'

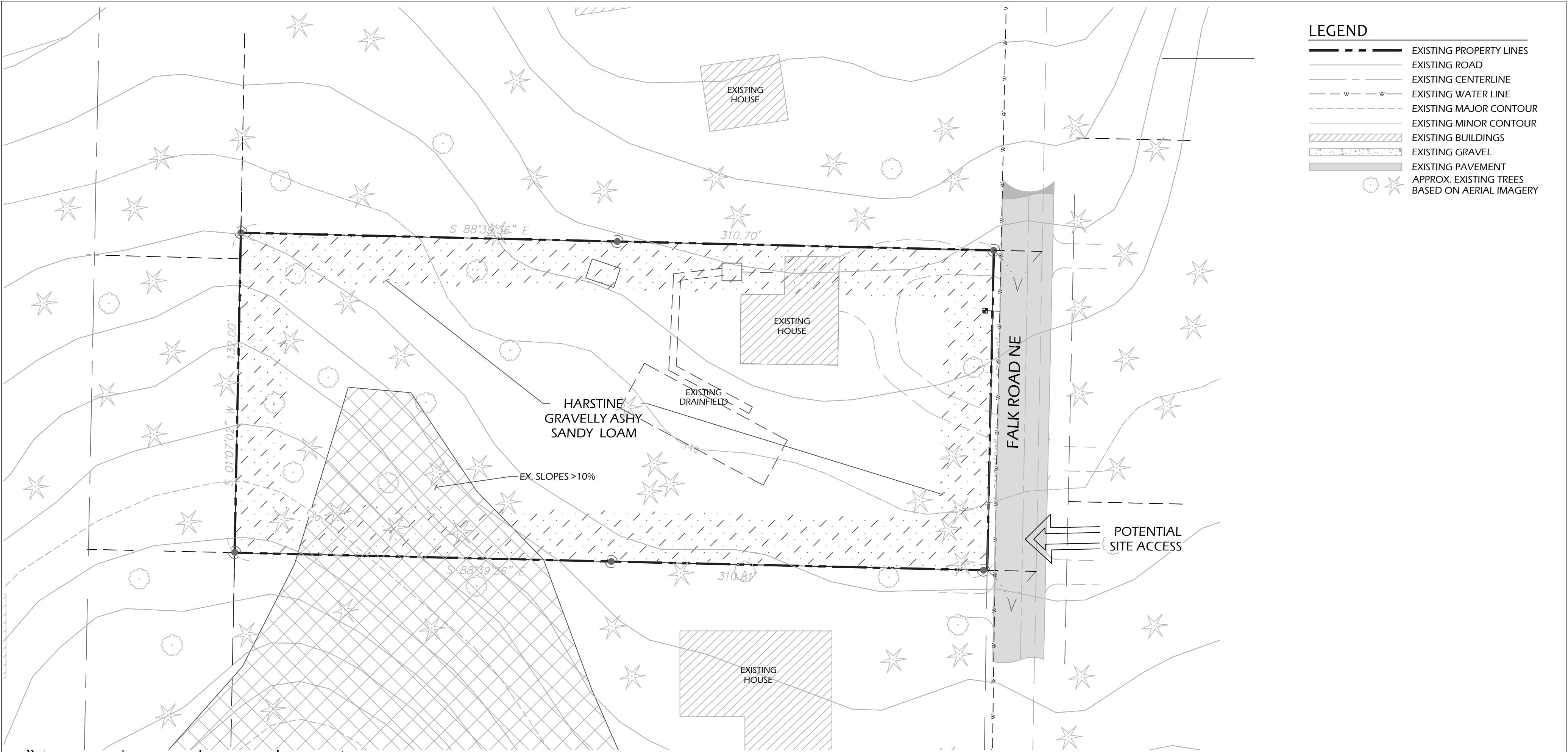
PRELIMINARY ACCESS & UTILITY PLAN
KARSTEN SHORT PLAT - 10871 FALK ROAD
PRELIMINARY PLAT SUBMITTAL



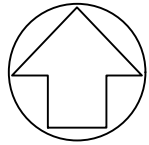
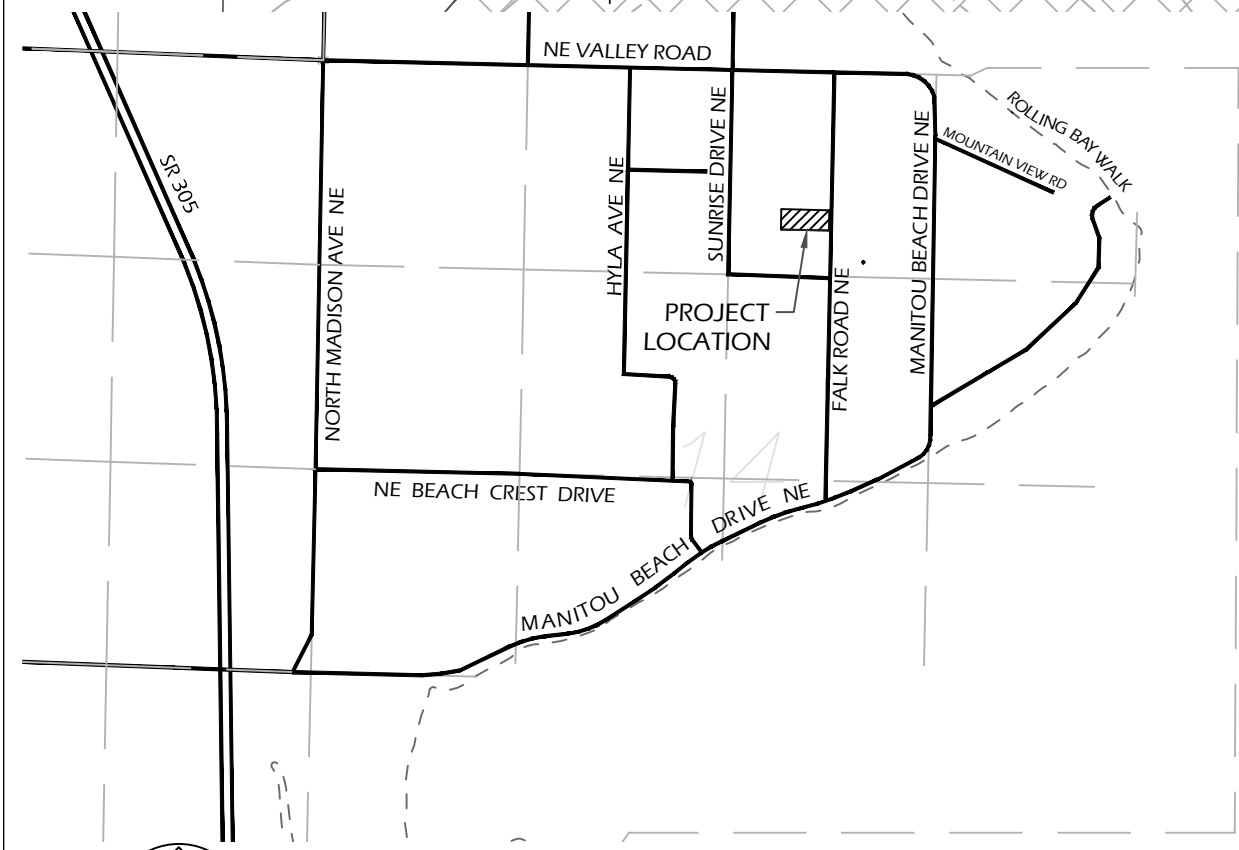
DATE: 12/6/2017
DESIGNED: K. LAUGHLIN
DRAWN: K. LAUGHLIN
CHECKED:
JOB NO.: KA10.10

SEABOLD
ENGINEERING LLC
PO BOX 445 INDIANOLA, WA 98342
360.930.4668 ENGINEER@SEABOLDENG.COM

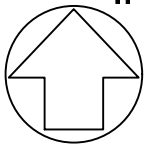
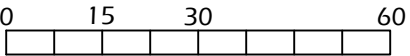
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BAINBRIDGE ISLAND, WA 98110
206.605.9963, 206.605.6673
cameron.karsten@gmail.com
lily.karsten@gmail.com



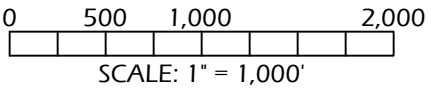
- LEGEND**
- EXISTING PROPERTY LINES
 - EXISTING ROAD
 - EXISTING CENTERLINE
 - EXISTING WATER LINE
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING BUILDINGS
 - EXISTING GRAVEL
 - EXISTING PAVEMENT
 - APPROX. EXISTING TREES BASED ON AERIAL IMAGERY



SITE PLAN
SITE PLAN BASED ON PUBLICLY AVAILABLE DATA & SITE OBSERVATIONS. TOPOGRAPHIC INFORMATION BASED ON KITSAP COUNTY PUD AERIAL LIDAR 2-FT CONTOURS, NOT A SURVEY.
DATUM: NAVD88
SCALE: 1" = 30'



VICINITY MAP
TAX ID: 142502-1-024-2009
NW ¼ OF NE ¼ SECTION 14 TOWNSHIP 25 NORTH RANGE 2 EAST



PRELIMINARY L.I.D. SITE ASSESSMENT
KARSTEN SHORT PLAT - 10871 FALK ROAD
PRELIMINARY PLAT SUBMITTAL



DATE: 12/6/2017
DESIGNED: K. LAUGHLIN
DRAWN: K. LAUGHLIN
CHECKED:
JOB NO.: KA10.10

SEABOLD
ENGINEERING LLC
PO BOX 445 INDIANOLA, WA 98342
360.930.4668 ENGINEER@SEABOLDENG.COM

CAMERON & LILY KARSTEN
10871 FALK ROAD NE
BAINBRIDGE ISLAND, WA 98110
206.605.9963, 206.605.6673
cameron.karsten@gmail.com
lily.karsten@gmail.com



REFERENCE J

KARSTEN SHORT PLAT
LOT CLOSURES

JOB NO. 17-6228

--
Parcel name: LOT A

North: 26457.8529	East : 30225.0453
Line Course: N 88-39-36.1 W	Length: 136.516
North: 26461.0453	East : 30088.5667
Line Course: S 01-07-02.1 W	Length: 132.000
North: 26329.0704	East : 30085.9929
Line Course: S 88-39-36.1 E	Length: 136.334
North: 26325.8823	East : 30222.2896
Line Course: N 01-11-46.9 E	Length: 131.999
North: 26457.8525	East : 30225.0456

Perimeter: 536.849 Area: 18,008 sq. ft. 0.41 acres

Mapcheck Closure - (Uses listed courses, radii, and deltas)
Error Closure: 0.0005 Course: S 30-37-46.9 E
Error North: -0.00042 East : 0.00025
Precision 1: 1,073,698.000

--
Parcel name: LOT B

North: 26457.8529	East : 30225.0453
Line Course: S 88-39-36.1 E	Length: 174.188
North: 26453.7796	East : 30399.1857
Line Course: S 01-04-22.2 W	Length: 132.000
North: 26321.8027	East : 30396.7142
Line Course: N 88-39-36.1 W	Length: 174.473
North: 26325.8827	East : 30222.2889
Line Course: N 01-11-46.9 E	Length: 131.999
North: 26457.8530	East : 30225.0449

Perimeter: 612.660 Area: 23,011 sq. ft. 0.53 acres

Mapcheck Closure - (Uses listed courses, radii, and deltas)
Error Closure: 0.0004 Course: N 85-51-58.3 W
Error North: 0.00003 East : -0.00041
Precision 1: 1,531,650.000

--
Parcel name: OPEN SPACE

North:	26461.0453	East :	30088.5665
Line Course:	S 88-39-36.1 E	Length:	140.001
	North: 26457.7714	East :	30228.5292
Line Course:	S 01-07-02.1 W	Length:	78.433
	North: 26379.3533	East :	30226.9998
Line Course:	N 88-39-36.1 W	Length:	10.000
	North: 26379.5872	East :	30217.0026
Line Course:	S 01-07-02.1 W	Length:	17.568
	North: 26362.0225	East :	30216.6600
Line Course:	N 88-39-36.1 W	Length:	23.000
	North: 26362.5604	East :	30193.6663
Line Course:	N 01-07-02.1 E	Length:	66.000
	North: 26428.5478	East :	30194.9532
Line Course:	N 88-39-36.1 W	Length:	67.001
	North: 26430.1146	East :	30127.9705
Line Course:	S 01-07-02.1 W	Length:	101.999
	North: 26328.1350	East :	30125.9817
Line Course:	N 88-39-36.1 W	Length:	40.000
	North: 26329.0704	East :	30085.9927
Line Course:	N 01-07-02.1 E	Length:	132.000
	North: 26461.0453	East :	30088.5665

Perimeter: 676.002 Area: 10,282 sq. ft. 0.24 acres

Mapcheck Closure - (Uses listed courses, radii, and deltas)
Error Closure: 0.0000 Course: S 90-00-00.0 E
Error North: 0.00000 East : 0.00000
Precision 1: 676,002,000.000

--
Parcel name: TOTAL

North:	26461.0453	East :	30088.5665
Line Course:	S 88-39-36.1 E	Length:	310.705
	North: 26453.7796	East :	30399.1865
Line Course:	S 01-04-22.2 W	Length:	132.000
	North: 26321.8027	East :	30396.7150
Line Course:	N 88-39-36.1 W	Length:	310.807
	North: 26329.0709	East :	30085.9930
Line Course:	N 01-07-02.1 E	Length:	132.000
	North: 26461.0458	East :	30088.5668

Perimeter: 885.511 Area: 41,019 sq. ft. 0.94 acres

Mapcheck Closure - (Uses listed courses, radii, and deltas)
Error Closure: 0.0005 Course: N 38-10-46.3 E

Error North: 0.00043
Precision 1: 1,771,024.000

East : 0.00034



REFERENCE K



KPUD
CONNECTING KITSAP

KITSAP PUBLIC UTILITY DISTRICT
1431 FINN HILL RD
PO Box 1989
POULSBORO, WA 98370
OFFICE 360-779-7656
FAX 360-779-3284

December 5, 2017

Re: Non-binding water letter for Tax Parcel: # 142502-1-024-2009

The Kitsap PUD currently serves the following Tax Parcel: #142502-1-024-2009, address: 10871 Falk Rd NE from the North Bainbridge Water System ID# 599949. Kitsap PUD would be able to serve the future subdivided lot.

If required the developer must enter into a Developer Water Main Extension agreement with KPUD to install all necessary water system infrastructures needed to provide water to the parcel.

The Developer must provide its own hydraulic analysis to assure that domestic and commercial fire flow demand can be met.

The Developer must secure all required easements.

KPUD requires payment of all standard connection charges and fees associated with the proposed development prior to issuance of Binding Water Availability letter. The current connection charge is \$4,500.00 CFC + \$2000.00 install + \$270.00 COBI tax. Total \$6,770.00.

This is a Non-Binding Water Letter, all connection charges must be paid in full, before a Binding Water Letter will be issued.

If you have any questions or concerns please contact me.

Thank You,

Mike Flaherty
Construction Superintendent
KPUD
360-626-7725



SCOTT W. LINDQUIST, MD, MPH, DIRECTOR
345 6TH STREET, SUITE 300
BREMERTON, WA 98337-1866
(360) 337-5235

**Building Site Application (BSA) Residential
For Onsite Sewage System and Water Supply
Part 1: General Information**

Official Use Only	Submittal Date:	Memo #:
	Fee:	SSI:

A. BUILDING SITE INFORMATION

Building Site Address - Street, City, Zip Code: <u>10871 FALK ROAD N.E. BAINBRIDGE ISLAND 98110</u>	Total Proposed Bedrooms: <u>3 Existing</u>	Total Proposed Sewage Flow (Gallons): <u>360 GPD</u>
Assessor Tax Account No.: <u>142502-1-02A-2009</u>	Lot No.: <u>[Lot A]</u>	Property Size (SqFt): <u>23,298 S.F.</u>

B. OWNER/APPLICANT INFORMATION

Name: <input checked="" type="checkbox"/> Current Property Owner - OR - <input type="checkbox"/> Applicant <u>CAMERON AND LILY KARSTEN</u>	Phone #: <u>(206) 605-9663</u>	E-Mail:
Owner/Applicant Mailing Address - Street, City, State, Zip Code: <u>10871 FALK ROAD N.E. BAINBRIDGE ISLAND, WASH. 98110</u>		

C. APPLICATION TYPE SUMMARY (Check all fields that apply)

Use/System Type	Application Type:	Type of Structures:
<input checked="" type="checkbox"/> Single Family <input checked="" type="checkbox"/> Standard <input type="checkbox"/> Alternative	<input type="checkbox"/> New <input type="checkbox"/> Re-Design <input type="checkbox"/> Modification/Expansion <input type="checkbox"/> Repair <input type="checkbox"/> Repair/Replacement <input checked="" type="checkbox"/> Other (Describe Below) <u>SHORT PLAT COMPLIANCE</u>	<input checked="" type="checkbox"/> Primary Residence <input type="checkbox"/> Accessory Dwelling Unit <input type="checkbox"/> Guest House <input type="checkbox"/> Other: _____ <input type="checkbox"/> Non-Habitable Structures with Plumbing (describe below):
<input type="checkbox"/> Multi Family <input type="checkbox"/> Standard <input type="checkbox"/> Alternative		
<input type="checkbox"/> Waiver(s) Proposed		

D. WATER SUPPLY DETAIL (Attach Water Availability Letter if available)

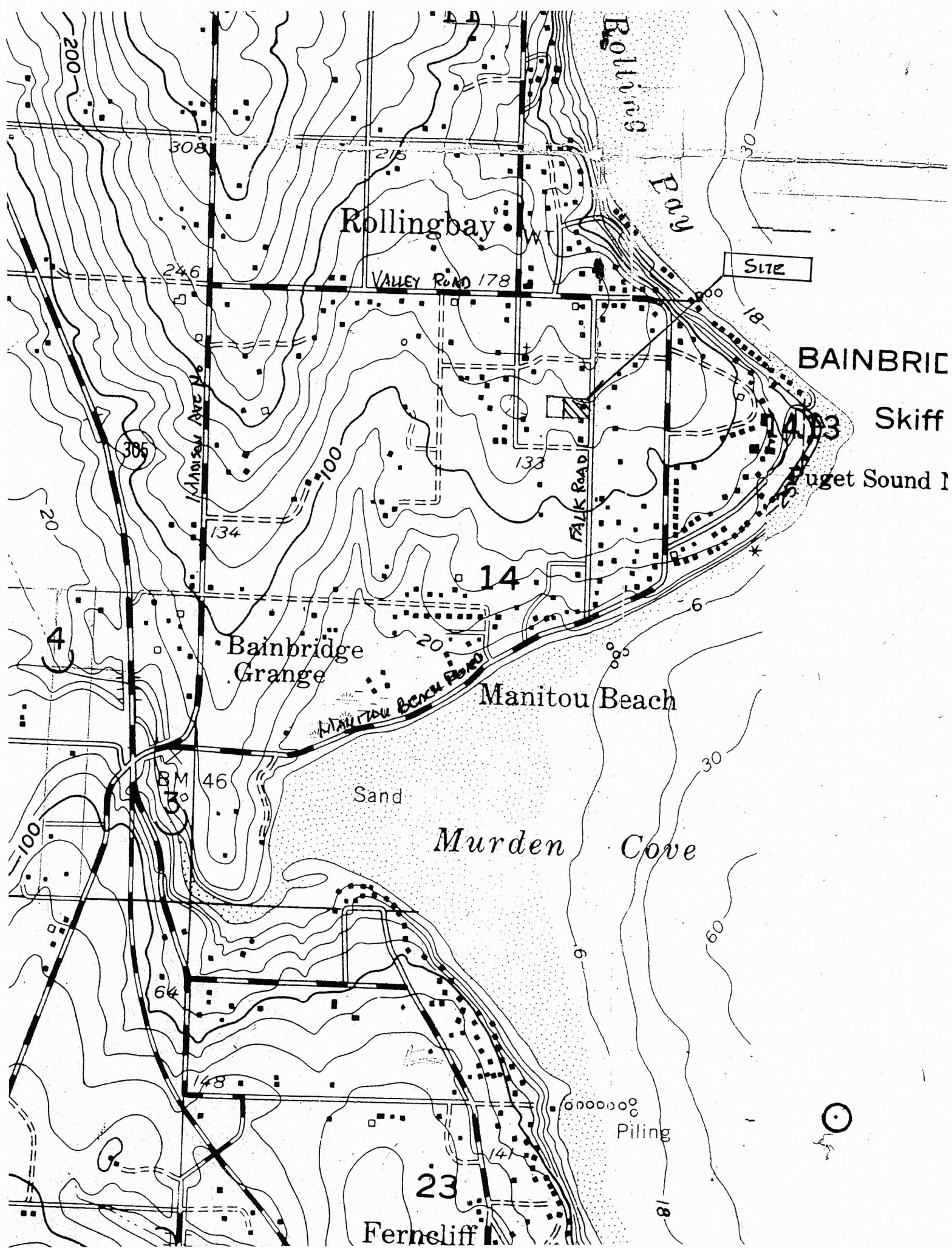
<input type="checkbox"/> Proposed <input checked="" type="checkbox"/> Existing	<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private <input type="checkbox"/> Individual <input type="checkbox"/> 2 Party	System Name: <u>KITSAP Co PUD No. 1 NORTH BAINBRIDGE SYSTEM</u>	System ID: <u>599949</u>
		Assessor Tax Account Numbers for Properties Served by Well	
		Water Connection 1 (Parcel with Well):	Water Connection 2 (Parcel connected to Well):

E. OWNER, APPLICANT OR AGENT AND DESIGNER ACKNOWLEDGEMENT

<p>I certify that (1) the information contained in this application is true and accurate to the best of my knowledge; (2) the application represents my intended use of this property; and (3) any related building permits that I apply for will be consistent with the plans and specifications contained in this application.</p> <p>I acknowledge and understand that I, along with my contractors, are responsible for adhering to the conditions of approval of this application, and are responsible for conforming to Kitsap County Board of Health regulations for onsite sewage systems (Ordinance 2008-01) and water supply (Ordinance 1999-6).</p> <p>I acknowledge and understand that the design, location, and construction of my onsite sewage system and/or well is/are critical and of a sensitive nature, and I agree to protect these areas required by the regulations.</p> <p>I understand that once this application is submitted and/or approved, any changes to, or variations from, the information or conditions related to this plan may require a revised application submittal and/or could result in the revocation, denial, or suspension of this application or a related building permit and that this application will fully expire within 3 (three) years and 30 (thirty) days from the original date of application submittal.</p> <p>I understand that I have the right to appeal the Health Officer's decision concerning this application pursuant to the regulations, and that approval of this application does not guarantee that a building permit will be issued.</p> <p>Signature: <input type="checkbox"/> Owner <input type="checkbox"/> Applicant <input type="checkbox"/> Agent _____ Date _____</p>	<p>Designer/Engineer Stamp</p> <p>(360) 598-3505 Designer/Engineer Contact Phone Number: <u>mbh20@earthlink.net</u> Designer/Engineer E-Mail Address:</p>
--	---

D. RETURN CORRESPONDENCE (For Incomplete Applications Returned to Designer/Engineer)

Returned to Designer Date:	Application Re-submittal Date:
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SCOTT W. LINDQUIST, MD, MPH, DIRECTOR
345 6TH STREET, SUITE 300
BREMERTON, WA 98337-1866
(360) 337-5235

Onsite Sewage System Specification Sheet For Residential Systems

Tax ID: 142502-1-024-2009 [A]

Owner/Applicant: KARSTEN

A. SOIL EVALUATION PROFILES

Soil Evaluation Date:	Soil Log Numbers Must Correlate With Site Plan - Indicate Total Excavated Depth, Soil Types, Water Table Level & Depth of Restrictive Layer		
Soil Log #1	Soil Log #2	Soil Log #3	Soil Log #4
- Downslope Side Measurements -	- Downslope Side Measurements -	- Downslope Side Measurements -	- Downslope Side Measurements -
8" DARK BROWN SANDY LOAM			
21" BROWN LOAMY FINE SAND			
38" GRAY FINE SAND			
38" RESTRICTIVE SOILS			
TYPE 4 SOILS 0.6 GPD/SF			

B. DAILY FLOW - TANKAGE - TREATMENT

RESERVE AREA ONLY

Design Flow	Tankage		Advanced Treatment
Total Proposed Sewage Flow/Day: <u>360</u> Gallons	Type	Size (gal)	QTY
Minimum Treatment Level	<input checked="" type="checkbox"/> Septic Tank	<u>1250</u>	<u>1</u>
Proposed Treatment Level: <u>5</u>	<input type="checkbox"/> Trash Tank		
	<input checked="" type="checkbox"/> Pump Tank	<u>1250</u>	<u>1</u>
	<input type="checkbox"/> Aerobic Treatment Unit <input type="checkbox"/> Sand Filter (includes bottomless) <input type="checkbox"/> Other: _____ Model/Size (Optional): _____ Manufacturer (Optional): _____		

C. DISPERSAL COMPONENT CONSTRUCTION

Dispersal Component Sizing Hydraulic Loading Rate of Dispersal Area: <u>0.6 GPD/SF</u> Minimum Dispersal Area (Sq. Ft.) In Primary: <u>600 SF</u> Minimum Linear Feet or Dimensions: <u>200</u> Distribution <input type="checkbox"/> Gravity Distribution <input checked="" type="checkbox"/> Pressure Distribution <input type="checkbox"/> Drip Irrigation <input type="checkbox"/> Other: _____		Trench Construction Profile A. Percent Slope In Primary: <u>±3%</u> Percent B. Maximum Trench Depth: <u>12</u> inches - Downslope Side Measurements - C. Vertical Separation: <u>26</u> inches D. Trench Width: <u>36</u> inches E. Additional Cover Required: <u>12</u> inches
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E. SITE WATER MITIGATION

<input type="checkbox"/> Curtain Drain Designated	<input type="checkbox"/> Storm Water Control Designated
---	---



KITSAP COUNTY DEPARTMENT OF
COMMUNITY DEVELOPMENT

BREMERTON-KITSAP COUNTY
HEALTH DISTRICT

Site Plan Requirements Checklist

All site plans shall be clearly and accurately drawn to scale on paper no larger than 11" x 17" and must indicate all of the following information. For each item below, mark either "Shown" or "N/A" as appropriate for your project.

This checklist, completed and signed, must be included on all site plans. Any site plan without this checklist will be rejected and returned to the applicant for correction.

Shown	N/A	Parcel Number
		142502-1-02A-2009 [A]
A General Property Information:		
<input checked="" type="checkbox"/>		Property lines and dimensions
<input checked="" type="checkbox"/>		Elevations of property and the direction of natural drainage
<input type="checkbox"/>	N/A	Slopes that exceed 15%, including any cut banks greater than 4" in height
<input checked="" type="checkbox"/>		North arrow and site plan scale
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Marine waters, lakes and ponds and their associated high water lines
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Streams, creeks & wetlands and their associated buffer areas
B Existing Property Improvements:		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location of all existing structures, including the locations of existing structures on adjacent waterfront properties
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location of all existing wells and their well radii, including those wells on adjacent properties within 100' of property lines
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location of all existing drainfields, including the 10' "No Build Zone" as well as the locations of existing drainfields on adjacent properties within 100' of any well
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location of existing drainage facilities, including all sub-surface infiltration systems
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location of all existing and abutting roadways, driveways, easements, buffers and required open spaces
C Proposed Property Improvements:		
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and dimensions of all proposed structures or building envelopes in relation to property lines, other structures, etc.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location of all proposed wells, including their 100' well radii and all water lines
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location of all proposed septic tanks, pump tanks, pre-treatment units, and drainfields, including the 10' "no build" zone <i>RESERVE AREA ONLY</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and dimensions of all proposed drainage and infiltration systems
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location, dimensions, surfacing materials, and clearing limits of all proposed parking areas, driveways, sidewalks and road app'r's.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location of all water, sewer and utility lines



KARSTEN

KCCDC - ENVIRONMENTAL CHECKLIST

Tax Lot No. 142502-1-02A-2009 [A]

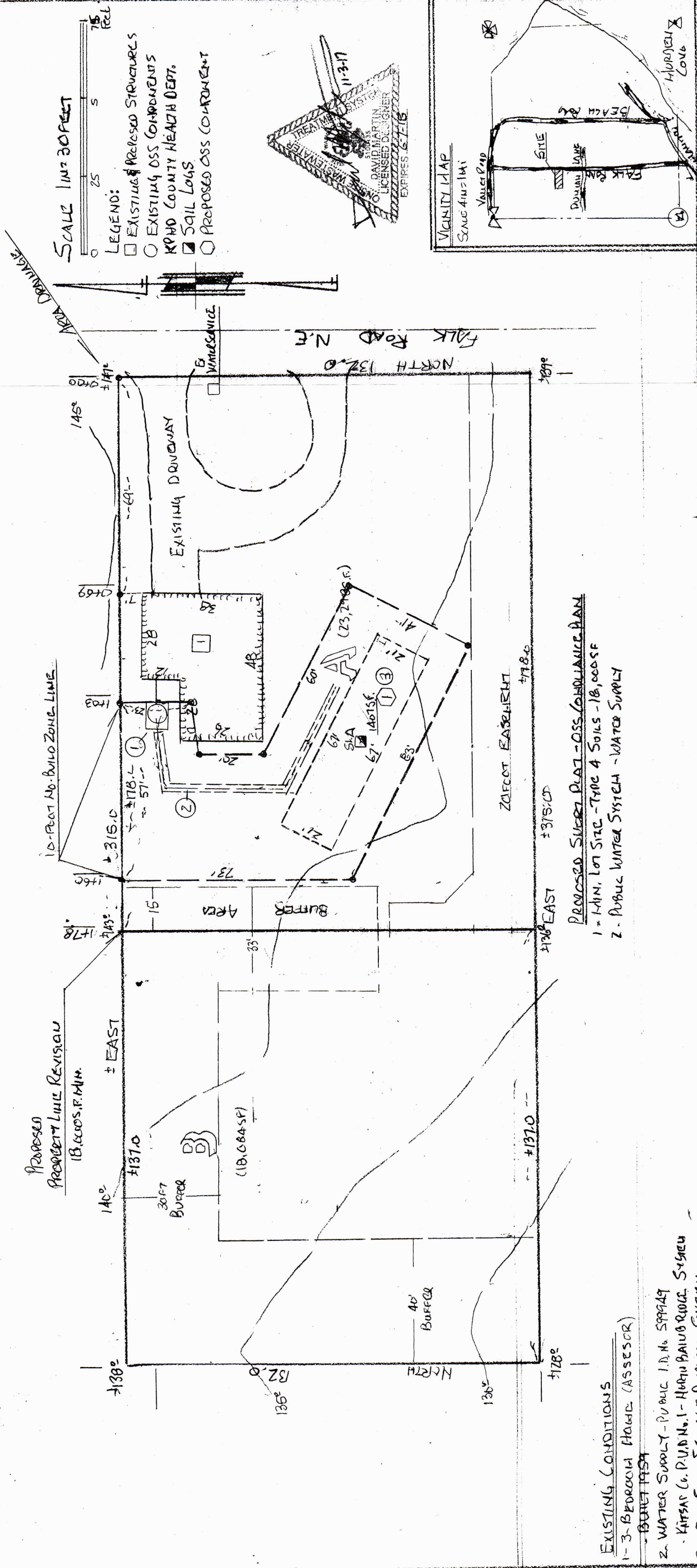
Nov 2, 2017

MB120

NOTE:
- THIS IS NOT A PROPERTY SURVEY
- TRANSCRIBED TOPOGRAPHY
MIN. LOT SIZE REQUIRED
TYPE 4 SOILS - 18,000 SQ. FT. MIN.

EXISTING & PROPOSED STRUCTURES
1. EXISTING 3-BEDROOM HOME

SITE AREA - 0.95 ACRES - 41,382 SF TO 0.534 ACRES - 23,298 SF
AREA SOILS - HARTSTINE GRANULITE SANDY LOAM (0-6%) TO (6-15%)
14-15



PROPOSED SUPER PLAT - OSS COMPLIANCE PLAN
1 - MIN. LOT SIZE - TYPE 4 SOILS - 18,000 SF
2 - PUBLIC WATER SYSTEM - WATER SUPPLY

EXISTING CONDITIONS
1-3-BEDROOM HOME (ASSESSOR)
2-WATER SUPPLY-PUBLIC I.D. NO. 59949
3-KIRKMAN CO. P.U. NO. 1-HARTSTINE GRANULITE SANDY LOAM (0-6%) TO (6-15%)
3-ON-SITE SEWAGE DISPOSAL SYSTEM
- NO SEWAGE DISPOSAL PERMIT OR RECORD AT KEND

EXISTING OSS COMPONENTS (ELEVATION)
1-750 GALLON 2-COMPARTMENT CONCRETE SEPTIC TANK
2-1000 LF GRAVITY-DISTRIBUTION DRAINFIELD
3-360 GPM RESERVE DRAINFIELD AREA

11-17	BUILDING SITE COMPLIANCE - PROPOSED SUPER PLAT SHOWN	CAMERON AND LILY KARSTEN
		ON-SITE SEWAGE DISPOSAL SYSTEM (OSS) - SITE PLAN
		10871 FALK ROAD N.E. - BAINBRIDGE ISLAND
		PROPOSED LOT A
		TAX LOT NO. 142502-1-024-2009
		SEC. 14 TWP. 25N R. 25W. 14
		Oct 25, 2017
		MBL4D
		128-20



SCOTT W. LINDQUIST, MD, MPH, DIRECTOR
345 6TH STREET, SUITE 300
BREMERTON, WA 98337-1866
(360) 337-5235

Building Site Application (BSA) Residential For Onsite Sewage System and Water Supply

Part 1: General Information

Official Use Only	Submittal Date:	Memo #:
	Fee:	SSI:

A. BUILDING SITE INFORMATION

Building Site Address - Street, City, Zip Code: <u>FALK ROAD N.E. - BAINBRIDGE ISLAND 98110</u>	Total Proposed Bedrooms: <u>3</u>	Total Proposed Sewage Flow (Gallons): <u>360 GPD</u>
Assessor Tax Account No.: <u>142502-1-024-2009</u>	Lot No.: <u>[L-18]</u>	Short Plat No.: <u>—</u>
		Property Size (SqFt): <u>18,048 SF</u>

B. OWNER/APPLICANT INFORMATION

Name: <input checked="" type="checkbox"/> Current Property Owner - OR - <input type="checkbox"/> Applicant <u>CAMERON AND LILY KARSTEN</u>	Phone #: <u>(206) 605-9663</u>	E-Mail:
Owner/Applicant Mailing Address - Street, City, State, Zip Code: <u>10871 FALK ROAD N.E. BAINBRIDGE ISLAND, WASH. 98110</u>		


C. APPLICATION TYPE SUMMARY (Check all fields that apply)

Use/System Type	Application Type:	Type of Structures:
<input checked="" type="checkbox"/> Single Family <input type="checkbox"/> Standard <input checked="" type="checkbox"/> Alternative <input type="checkbox"/> Multi Family <input type="checkbox"/> Standard <input type="checkbox"/> Alternative <input type="checkbox"/> Waiver(s) Proposed	<input checked="" type="checkbox"/> New <input type="checkbox"/> Re-Design <input type="checkbox"/> Modification/Expansion <input type="checkbox"/> Repair <input type="checkbox"/> Repair/Replacement <input type="checkbox"/> Other (Describe Below)	<input checked="" type="checkbox"/> Primary Residence <input type="checkbox"/> Accessory Dwelling Unit <input type="checkbox"/> Guest House <input type="checkbox"/> Other: _____ <input type="checkbox"/> Non-Habitable Structures with Plumbing (describe below): _____

D. WATER SUPPLY DETAIL (Attach Water Availability Letter if available)

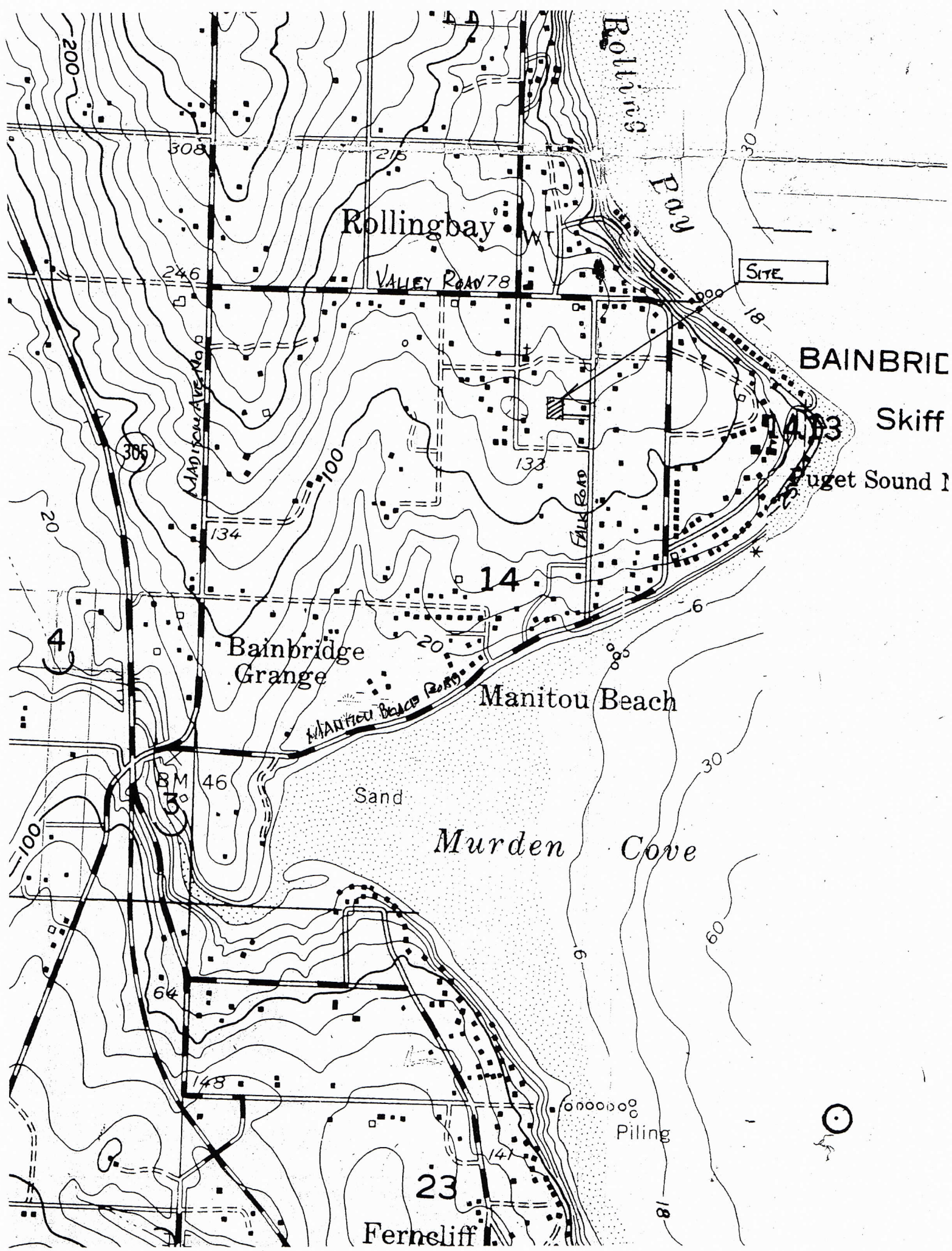
<input checked="" type="checkbox"/> Proposed <input type="checkbox"/> Existing	<input checked="" type="checkbox"/> Public <input type="checkbox"/> Private <input type="checkbox"/> Individual <input type="checkbox"/> 2 Party	System Name: <u>KITSAP G. P.U.D. No. 1 NORTH BAINBRIDGE SYSTEM</u>	System ID: <u>599949</u>
		Assessor Tax Account Numbers for Properties Served by Well	
		Water Connection 1 (Parcel with Well):	Water Connection 2 (Parcel connected to Well):

E. OWNER, APPLICANT OR AGENT AND DESIGNER ACKNOWLEDGEMENT

<p>I certify that (1) the information contained in this application is true and accurate to the best of my knowledge; (2) the application represents my intended use of this property; and (3) any related building permits that I apply for will be consistent with the plans and specifications contained in this application.</p> <p>I acknowledge and understand that I, along with my contractors, are responsible for adhering to the conditions of approval of this application, and are responsible for conforming to Kitsap County Board of Health regulations for onsite sewage systems (Ordinance 2008-01) and water supply (Ordinance 1999-6).</p> <p>I acknowledge and understand that the design, location, and construction of my onsite sewage system and/or well is/are critical and of a sensitive nature, and I agree to protect these areas required by the regulations.</p> <p>I understand that once this application is submitted and/or approved, any changes to, or variations from, the information or conditions related to this plan may require a revised application submittal and/or could result in the revocation, denial, or suspension of this application or a related building permit and that this application will fully expire within 3 (three) years and 30 (thirty) days from the original date of application submittal.</p> <p>I understand that I have the right to appeal the Health Officer's decision concerning this application pursuant to the regulations, and that approval of this application does not guarantee that a building permit will be issued.</p> <p>Signature: <input type="checkbox"/> Owner <input type="checkbox"/> Applicant <input type="checkbox"/> Agent _____ Date _____</p>	<p>Designer/Engineer Stamp</p> <p></p> <p><u>(360) 598-3505</u> Designer/Engineer Contact Phone Number:</p> <p><u>mbh20@earthlink.net</u> Designer/Engineer E-Mail Address:</p>
--	--

D. RETURN CORRESPONDENCE (For Incomplete Applications Returned to Designer/Engineer)

Returned to Designer Date:	Application Re-submittal Date:
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SCOTT W. LINDQUIST, MD, MPH, DIRECTOR
345 6TH STREET, SUITE 300
BREMERTON, WA 98337-1866
(360) 337-5235

Onsite Sewage System Specification Sheet For Residential Systems

Tax ID: 142502-1-024-2009 [B]

Owner/Applicant: KARSTEN

A. SOIL EVALUATION PROFILES

Soil Evaluation Date:		Soil Log Numbers Must Correlate With Site Plan - Indicate Total Excavated Depth, Soil Types, Water Table Level & Depth of Restrictive Layer	
Soil Log #1	Soil Log #2	Soil Log #3	Soil Log #4
- Downslope Side Measurements - <u>3" ORGANIC TOPSOIL</u> <u>12" DARK BROWN SANDY LOAM</u> <u>32" BRN GRAVELLY SANDY LOAM</u> <u>32" RESTRICTIVE SOILS</u> <u>29" EFFECTIVE SOIL DEPTH (ESD)</u> <u>TYPE 4 SOILS 0.6 GPD/SF</u>	- Downslope Side Measurements - <u>9" DARK BROWN SANDY LOAM</u> <u>22" BRN GRAVELLY SANDY LOAM</u> <u>27" BRN GRAVELLY SANDY LOAM</u> <u>27" RESTRICTIVE SOILS</u> <u>TYPE 4 SOILS 0.6 GPD/SF</u>	- Downslope Side Measurements - <u>12" DARK BROWN SANDY LOAM</u> <u>28" BRN GRAVELLY SANDY LOAM</u> <u>41" BRN LOAMY FINE SAND</u> <u>41" RESTRICTIVE SOILS</u> <u>TYPE 4 SOILS 0.6 GPD/SF</u>	- Downslope Side Measurements -

B. DAILY FLOW - TANKAGE - TREATMENT

Design Flow	Tankage			Advanced Treatment
Total Proposed Sewage Flow/Day: <u>360</u> Gallons	Type	Size (gal)	QTY	<input checked="" type="checkbox"/> Aerobic Treatment Unit <input type="checkbox"/> Sand Filter (includes bottomless) <input type="checkbox"/> Other: _____ Model/Size (Optional): _____ Manufacturer (Optional): _____
Minimum Treatment Level	<input checked="" type="checkbox"/> Septic Tank	<u>1000</u>	<u>1</u>	
Proposed Treatment Level: <u>B</u>	<input checked="" type="checkbox"/> Trash Tank	<u>1000</u>	<u>1</u>	
	<input checked="" type="checkbox"/> Pump Tank	<u>1250</u>	<u>1</u>	

C. DISPERSAL COMPONENT CONSTRUCTION

Dispersal Component Sizing Hydraulic Loading Rate of Dispersal Area: <u>0.6 GPD/SF</u> Minimum Dispersal Area (Sq. Ft.) In Primary: <u>600 SF</u> Minimum Linear Feet or Dimensions: <u>240 SF</u> Distribution <input type="checkbox"/> Gravity Distribution <input checked="" type="checkbox"/> Pressure Distribution <input type="checkbox"/> Drip Irrigation <input type="checkbox"/> Other: _____		Trench Construction Profile A. Percent Slope In Primary: <u>±10%</u> Present B. Maximum Trench Depth: <u>12</u> inches - Downslope Side Measurements - C. Vertical Separation: <u>15</u> inches D. Trench Width: <u>36</u> inches E. Additional Cover Required: <u>12</u> inches
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E. SITE WATER MITIGATION

<input type="checkbox"/> Curtain Drain Designated	<input type="checkbox"/> Storm Water Control Designated
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KITSAP COUNTY DEPARTMENT OF
COMMUNITY DEVELOPMENT

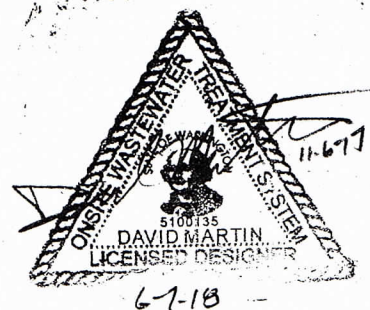
BREMERTON-KITSAP COUNTY
HEALTH DISTRICT

Site Plan Requirements Checklist

All site plans shall be clearly and accurately drawn to scale on paper no larger than 11" x 17" and must indicate all of the following information. For each item below, mark either "Shown" or "N/A" as appropriate for your project.

This checklist, completed and signed, must be included on all site plans. Any site plan without this checklist will be rejected and returned to the applicant for correction.

Shown	N/A	Parcel Number <u>142502-1-024-2009 [B]</u>
A General Property Information:		
<input checked="" type="checkbox"/>		Property lines and dimensions
<input checked="" type="checkbox"/>		Elevations of property and the direction of natural drainage
<input type="checkbox"/>	N/A	Slopes that exceed 15%, including any cut banks greater than 4" in height
<input checked="" type="checkbox"/>		North arrow and site plan scale
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Marine waters, lakes and ponds and their associated high water lines
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Streams, creeks & wetlands and their associated buffer areas
B Existing Property Improvements:		
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location of all existing structures, including the locations of existing structures on adjacent waterfront properties
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location of all existing wells and their well radii, including those wells on adjacent properties within 100' of property lines
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location of all existing drainfields, including the 10' "No Build Zone" as well as the locations of existing drainfields on adjacent properties within 100' of any well
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location of existing drainage facilities, including all sub-surface infiltration systems
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location of all existing and abutting roadways, driveways, easements, buffers and required open spaces
C Proposed Property Improvements:		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location and dimensions of all proposed structures or building envelopes in relation to property lines, other structures, etc.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location of all proposed wells, including their 100' well radii and all water lines <u>Water Line only</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location of all proposed septic tanks, pump tanks, pre-treatment units, and drainfields, including the 10' "no build" zone
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and dimensions of all proposed drainage and infiltration systems
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location, dimensions, surfacing materials, and clearing limits of all proposed parking areas, driveways, sidewalks and road app'rs.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Location of all water, sewer and utility lines

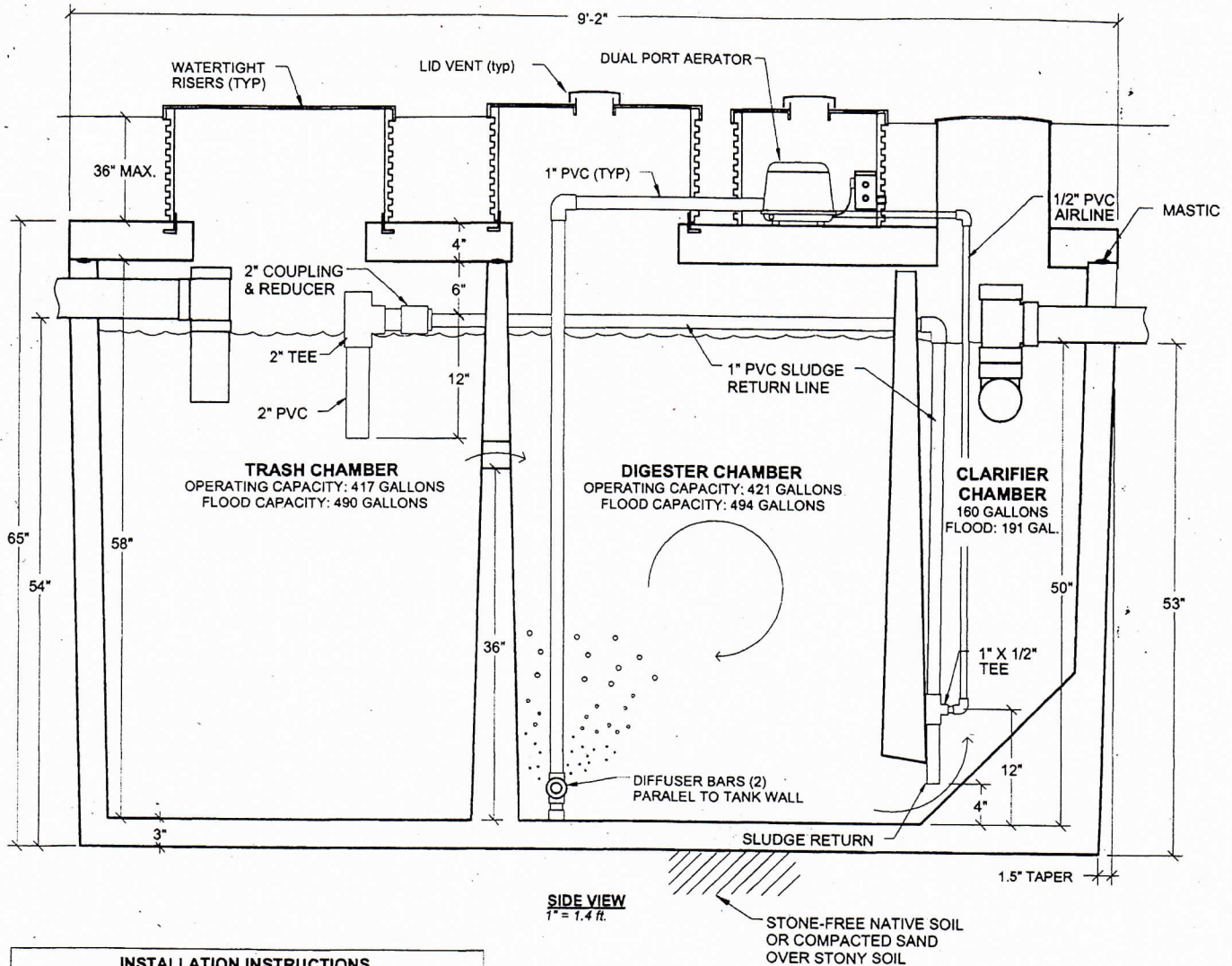


KARSTEN

KCCDCD - ENVIRONMENTAL CHECKLIST
Tax Lot No. 142502-1-024-2009 [B]

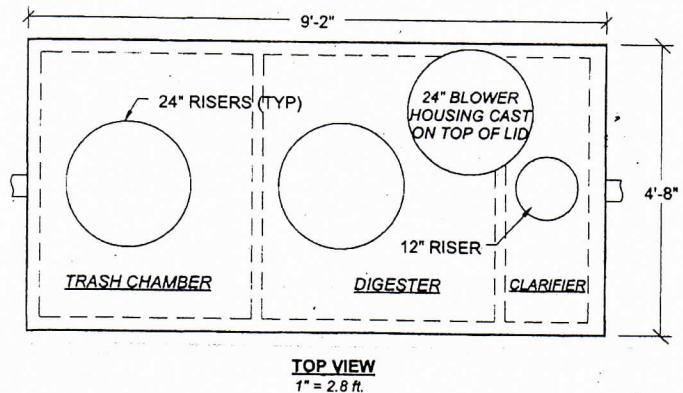
11-6-2017

NB1120



INSTALLATION INSTRUCTIONS

- 1) Excavate tank hole with vertical walls to 1 foot larger than tank on all sides.
- 2) If bottom of hole is stony, install 3" of compact sand & level out with screed.
- 3) Install tank in center of hole, keeping 1 ft. void space on all sides.
- 4) As tank is filling with water, fill in void space with compact granular (sandy) soil free of large clumps of clay.
- 5) Install rest of system, & affix risers to adapters with waterproof adhesive.
- 6) Perform watertightness test in field as required by local jurisdiction.
- 7) Upon approval to backfill, carefully backfill with native soils over top of tank.
- 8) Final grade the surface to avoid channelling surface water toward tank.



AEROBIC TREATMENT TANK DETAIL FOR NuWater BNR-500 TREATMENT UNIT

ENVIRO-FLO, INC.
Wastewater Treatment Technologies
P.O. BOX 321161, Flowood, MS 39232
(877) 836-8476 (601) 845-4716 fax
www.enviro-flo.net

REVISED: 3/01/12
SCALE: 1" = 1.4 ft.

HAGERMAN PRE-CAST
Bob & Anita Hagerman
PO Box 2842
Poulsbo WA 98370
360-598-6121 / 360-509-3702

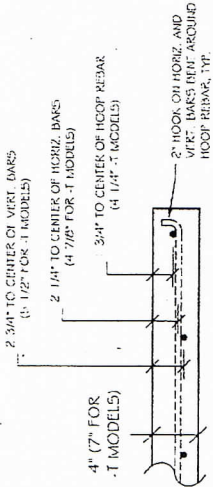
PAGE: 5

TANK CONSTRUCTION & REBAR SCHEDULE FOR MODELS
 1000 S, 1000 S-T,
 1000 P & 1000 P-T
 HAGERMAN PRE-CAST

DATE: 2/2/12
 DRAFTED BY: D.R.N.
 SCALE: NTS

EK ENGINEERING INC.
 P.O. BOX 3097 BATTLE GROUND, WA 98604
 PHONE: (360) 687-7668 FAX: (360) 687-7669

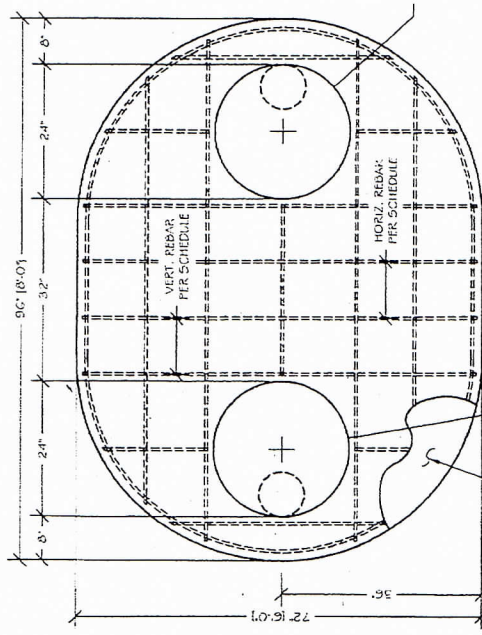
Page 8 of 8



DETAILS FOR LID REINFORCEMENT



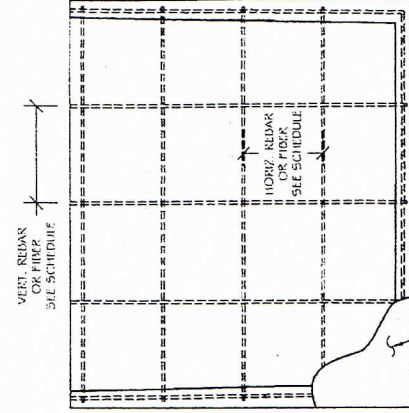
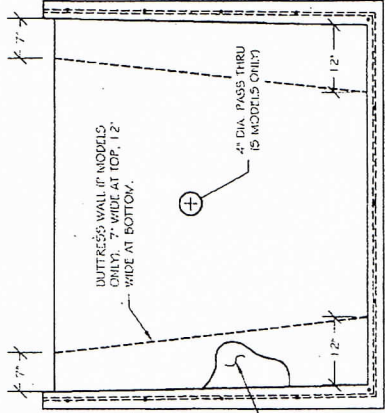
2-2-12



TANK LID DETAIL

24" Ø OPENING OVER INLET OF 1000 S OUTLET OF 1000 P, 24" Ø OPENING OVER INLET OF TRASH TANK.

INTERCOMPARTMENTAL WALL DETAIL (BUTTRESS WALL FOR T⁺ MODELS)



TANK END WALL DETAIL

5000 PSI CONCRETE WALL THICKNESS VARIES

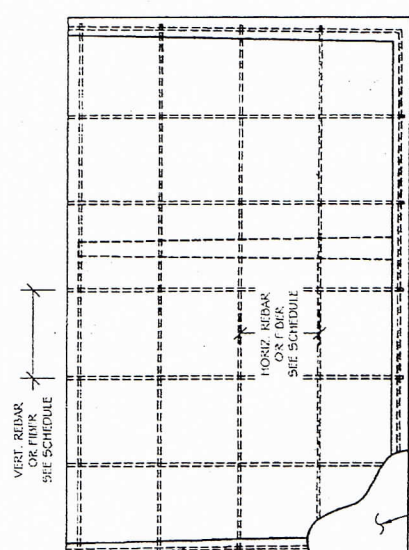
REINFORCEMENT SCHEDULE FOR 1000 S & 1000 P (1 OF 500 COVER, WALLS, FLOOR AT TOP OF TANK, 2,500 PSI WHEEL LOAD)			
FLOOR TYPE	DOSSAGE (PER CUBIC YD OF CONCRETE)	LID (THICKNESS 4")	
		DIAMETER	SPACING
NOVOMESH 950	10 lb	#4 (1/2")	18" EACH WAY

NOTE: TANK LID, WALL, AND FLOOR REINFORCEMENT AS SET AT LEFT. REMOVE REBAR AS SET ALSO BE USED FOR ABOVE IN THE LID

REBAR SCHEDULE FOR 1000 S-T & 1000 P-T (1 OF 500 COVER, WALLS, FLOOR AT TOP OF TANK, 2,500 PSI WHEEL LOAD)			
SIDE WALLS		END WALLS	
HORIZ. DIAMETER	HORIZ. SPACING	HORIZ. DIAMETER	HORIZ. SPACING
#4 (1/2")	18"	#4 (1/2")	18"
VERT. DIAMETER	VERT. SPACING	VERT. DIAMETER	VERT. SPACING
#4 (1/2")	18"	#4 (1/2")	18"

FLOOR		LID (THICKNESS 7")	
DIAMETER	SPACING	DIAMETER	SPACING
#4 (1/2")	18" EACH WAY	#5 (5/8")	12" EACH WAY

NOTES:
 1. ALL REINFORCEMENT IS TO BE AS SHOWN ABOVE GO WITH A MIN. 1" OF COVER ON ALL SIDES.
 2. UNLESS NOTED OTHERWISE, FLOOR AND WALL REBAR IS TO BE CENTERED IN THE CONCRETE. NUMBER WITH THE HORIZONTAL REBAR TOWARDS THE OUTSIDE OF THE TANK.
 3. FOLLOW ALL MANUFACTURER RECOMMENDATIONS FOR NOVOMESH 950 FIBER.



TANK SIDE WALL DETAIL

5000 PSI CONCRETE WALL THICKNESS VARIES

HAGERMAN PRE-CAST
Bob & Anita Hagerman
 PO Box 2842
 Poulsbo WA 98370
 360-598-6121 / 360-509-3702

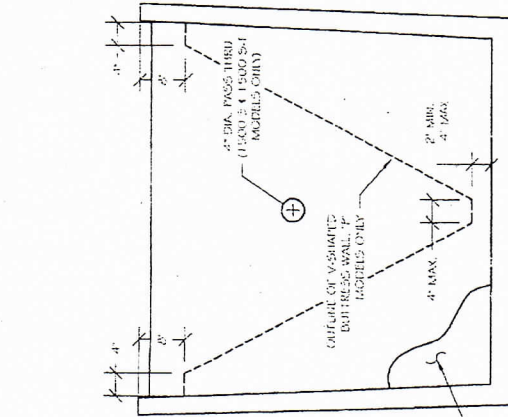
PAGE: 5

TANK CONSTRUCTION & RE-BAR SCHEDULE FOR MODELS
 1250 S, 1250 S-T,
 1250 P & 1250 P-T
 HAGERMAN PRE-CAST

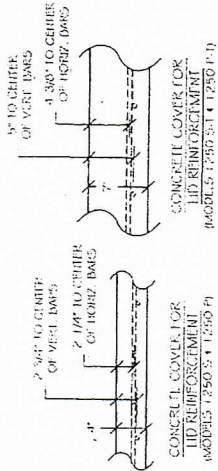
DATE: 6/23/11
 DRAFTED BY: D.R.N.,
 SCALE: NTS

P.O. BOX 3097 BATTLE GROUND, WA 98604
 PHONE: (360) 687-7668 FAX: (360) 687-7669

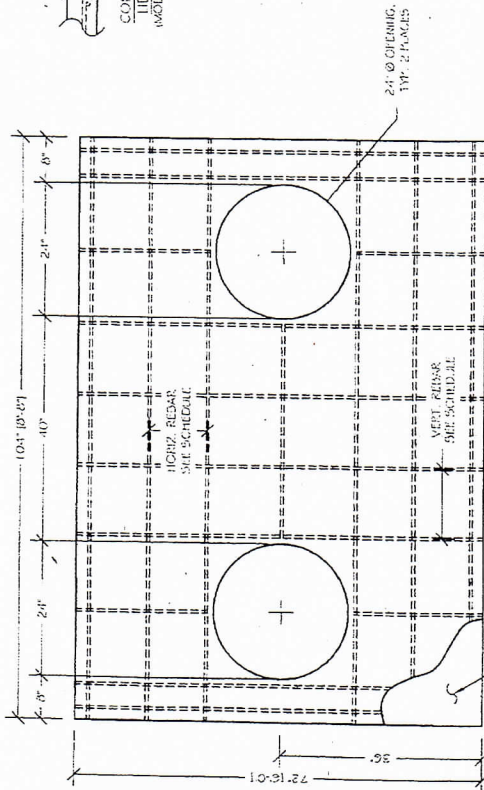
EK ENGINEERING INC.



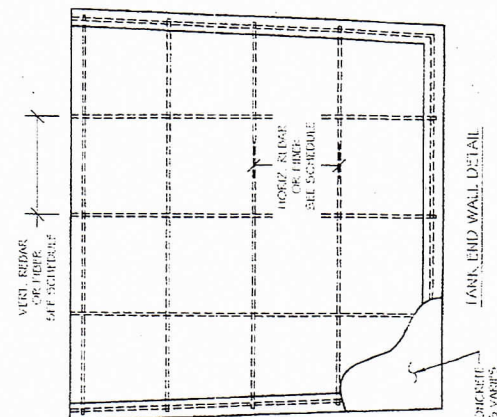
INTERCOMPARTMENTAL WALL DETAIL
 (BOTTLE WALL FOR 1500 P & 1500 P-T MODULES)



6-23-11



TANK LID DETAIL

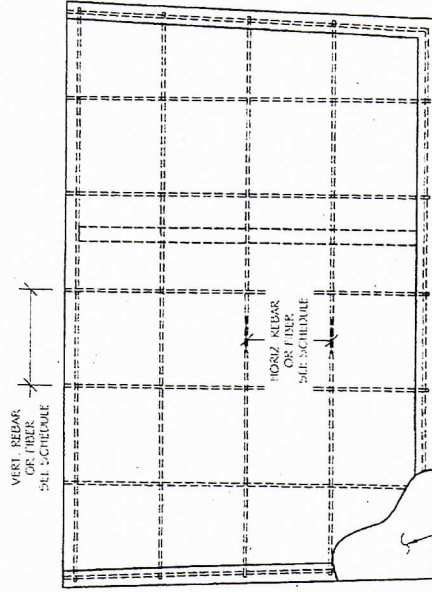


TANK END WALL DETAIL
 5000 PSI CONCRETE
 WALL THICKNESS VARIES

REINFORCEMENT SCHEDULE FOR 1250 S & 1250 P (12" SOL COVER, WALL THICKNESS AT TOP OF TANK 1250 S & 1250 P)				
PIER TYPE	DOSEAGE PER CIRCULAR FOOT OF CIRCUMFERENCE	FIBER TYPE	NOVOMESH 250	
			SPACING	DIA. (1/2")
SHOE WALLS, END WALLS, INTERCOMPARTMENTAL WALLS, AND FLOOR	10 lb.		18"	#4 (11/2")

REBAR SCHEDULE FOR 1250 S-T & 1250 P-T (12" SOL. COV. WALL THICK. AT TOP OF TANK 1250 S-T & 1250 P-T)				
SIDE WALLS		END WALLS		
PIER TYPE	REBAR	SPACING	DIA.	THICKNESS (P)
SHOE WALLS	#4 (11/2")	18"	#4 (11/2")	10"
WALL THICKNESS	#4 (11/2")	18"	#4 (11/2")	10"
WALL THICKNESS	#4 (11/2")	18"	#4 (11/2")	10"
FLOOR		WID		
PIER TYPE	REBAR	SPACING	DIA.	THICKNESS (P)
SHOE WALLS	#4 (11/2")	18"	#4 (11/2")	10"
WALL THICKNESS	#4 (11/2")	18"	#4 (11/2")	10"

NOTES:
 1. REINFORCEMENT IS TO BE 10" MIN. 10" MAX. WITH A MIN. 10" COVER AT TOP OF TANK 1250 S & 1250 P-T.
 2. UNLESS NOTED OTHERWISE, FLOOR AND WALL THICKNESS IS TO BE 10" MIN. 10" MAX. WITH A MIN. 10" COVER AT TOP OF TANK 1250 S & 1250 P-T.



TANK SIDE WALL DETAIL

5000 PSI CONCRETE
 WALL THICKNESS VARIES



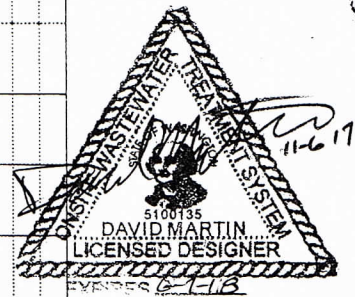
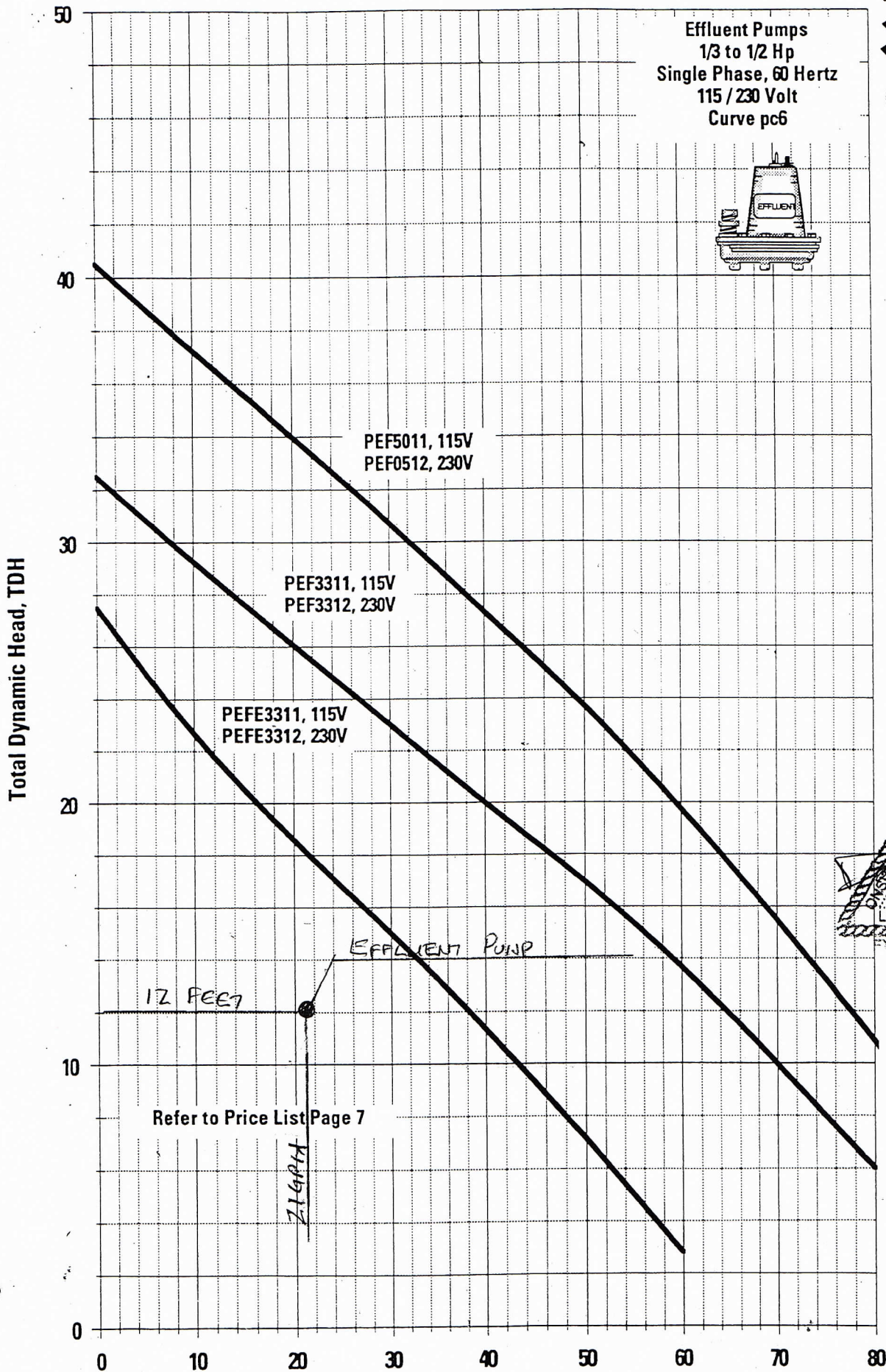
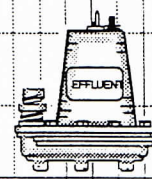
Oreco Systems*
Incorporated

814 AIRWAY AVENUE
SUTHERLIN, OREGON
97479-9012

TELEPHONE:
(541) 459-4449

FACSIMILE:
(541) 459-2884

Effluent Pumps
1/3 to 1/2 Hp
Single Phase, 60 Hertz
115 / 230 Volt
Curve pc6



Pressure Distribution On-Site Sewage Disposal System Work Sheet

Name of Applicant KARSTEN Site Address or Location FALK ROAD - BAILLIEBRIDGE ISLAND
 Tax Assessors # 142562-1-024-2009 Date 11-4-2017
 Designer's Name DAVID MARTIN Company Name MBH₂O Phone # 360 598 3505

Property Information:

Number of Bedrooms 3
 Maximum Daily Flow 360 GPD
 Total Absorption Area Required (Sq.Ft.) 600 SF

Trench Information:

Trench Width 36 IN.
 Trench Depth 12 IN.
 Total Linear Trench Length 200 LF
 Total Washed Drain Rock Under Lateral 6 IN.
 Gravelless Chamber Drainfield (Yes- No) GRAVEL SYSTEM. PAVED - OPTIONAL

Manifold, Lateral & Transport Information:

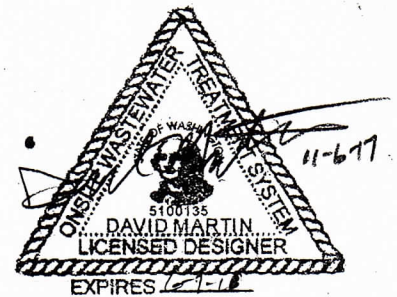
Total Lateral Pipe Length 200 LF
 Lateral Spacing 9 FT. CENTERS
 Transport Line Length ±30 LF
 Transport Line Pipe (Schedule) 40
 Manifold & Laterals Pipe (Schedule) 40
 Lateral Line Diameter 1 IN.
 Manifold Line Diameter 1 IN.
 Transport Line Diameter 2 IN.

Pump Information:

Residual Lateral Head (Squirt Height) 5'
 Pump Size 21 GPD @ 12 FT. TDH

Dosing Information:

Orifice Spacing (inches) 48 IN.
 Total Orifices 50
 Orifice Diameter 1/8 IN.
 Total Dose Volume 60
 Number of Doses Per Day 6
 Size of Pump Tank (gallons) 1250 - 1000 GAL MIN.

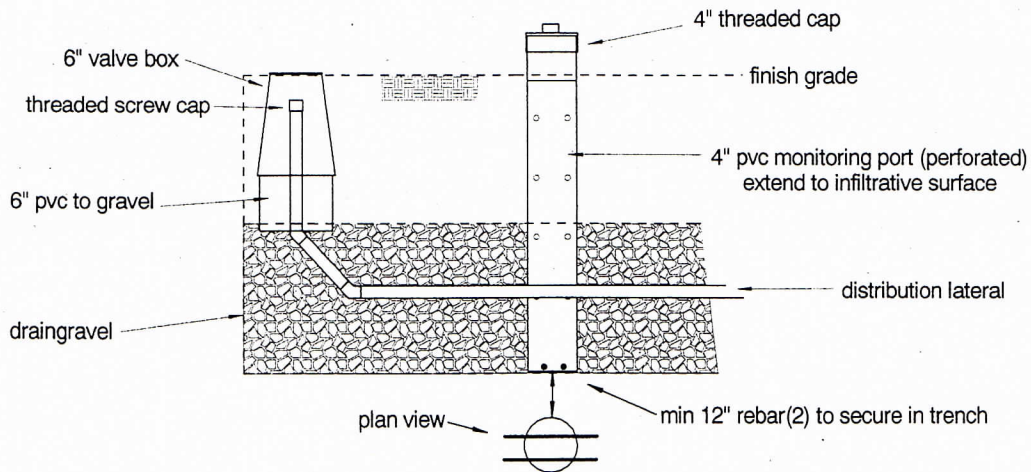
Control Panel Information:

PROGRAMMABLE TIMER REQUIRED

Other Information:

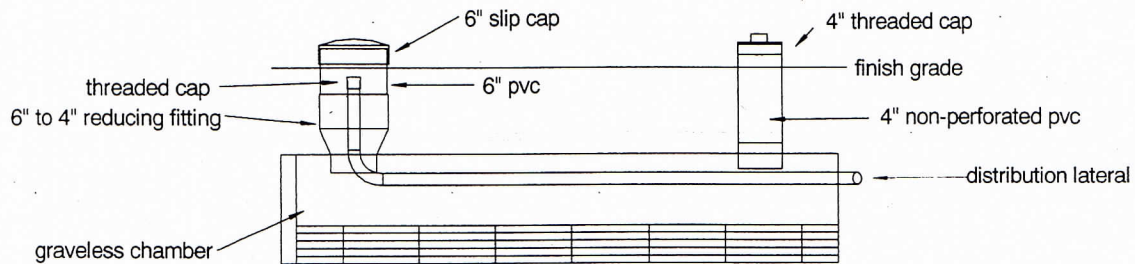
Detail: Monitoring port / cleanout. Not to scale

PAGE
6 OF 8



note: monitoring port location for illustrative purposes only, refer to site plan for location

Detail: Monitoring port / cleanout (Graveless Chamber) Not to scale

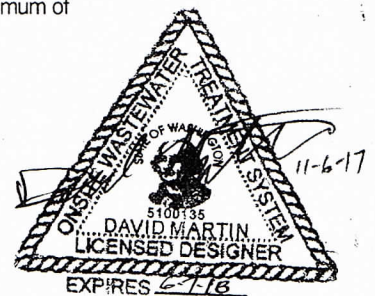
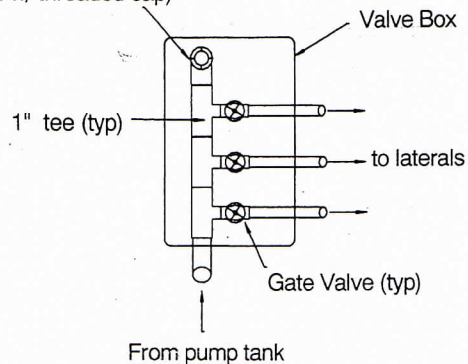


notes:

- monitoring port location for illustrative purposes only, refer to site plan for location
- graveless chambers must be on the WSDOH list of approved products
- monitoring ports and cleanout risers must be secured to chamber per manufacturer specifications
- distribution lateral shall be suspended from the top of chamber and secured a minimum of every three feet.

Detail: Effluent Header Manifold Not to Scale

cleanout (90 ell w/ threaded cap)



CONSTRUCTION NOTE:

EMPLACE WASHED DRAIN GRAVEL
UNDER MANIFOLD SYSTEM WITH WIRE
MESH TO PREVENT BURROWING
ANIMAL ENTRY

Table 1: Drip Design Parameters:

Select Option	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Soil Type	1 ¹	2	3	4	5	6			
Bedrooms	Minimum number emitters required								
2	240	240	300	450	300	450	450	600	900
3	360	360	450	675	450	675	675	900	1350
4	480	480	600	900	600	900	900	1200	1800
5	600	600	750	1125	750	1125	1125	1500	2250
Bedrooms	Dripline required at minimum emitter spacing (ft ²)								
2	240	240	300	450	300	450	450	600	900
3	360	360	450	675	450	675	675	900	1350
4	480	480	600	900	600	900	900	1200	1800
5	600	600	750	1125	750	1125	1125	1500	2250
	Minimum emitter spacing (ft)								
	1	1	1	1	1	1	1	1	1
	Minimum dripline spacing (ft) ^{2,3}								
	1	1	1.5	1	2	1.5	2	1.5	2
Bedrooms	Minimum dripfield area (ft ²)								
2	240	240	450	600	900	1350	1800	2700	3600
3	360	360	675	900	1350	1800	2700	3600	4500
4	480	480	900	1200	1800	2700	3600	4500	5400
5	600	600	1125	1500	2250	3000	3600	4500	5400
	Minimum number of distribution zones								
	1	1	1	1	1	1	1	1	2

¹ Drip trenches/beds in "Type 1 soils must be filled with a minimum 2 feet of coarse sand below the dripline and 6 inches (8-10 inches if frost is a concern) above the dripline. Minimum sand depth may be reduced to 1 foot below dripline if pretreatment meets Treatment Level A.

² For soil types 3-5, reduced dripline spacing may be specified by the designer/engineer on the Building Site Application, however additional dripline must be installed, utilizing 100% of the required dispersal area per Table 1.

³ Where slopes are > 20% dripline spacing to be increased by one foot from the values outlined in this table.

Table 2. Maximum Emitter Discharge Rates by Soil Type (gallons per hour)

Soil Type	1,2	3	4	5	6
Geoflow Dripline with PC emitters	1.02	1.02	0.53	0.53	0.53
Geoflow "Classic" Dripline (non PC emitters)	1.33	1.33	Not recommended		
Netafim Dripline	0.92	0.92	0.62	0.62	0.42

APPENDIX "A" TABLE 1

OPERATION AND MAINTENANCE INSPECTION SCHEDULE REQUIREMENTS (ADDITIONAL OR LESS MAINTENANCE AND SAMPLING MAY BE REQUIRED BY THE HEALTH OFFICER.)

REQUIREMENTS FOR "AREAS OF SPECIAL CONCERN" (Type A)

MAINTENANCE	SAND FILTER	MOUNDS	PRESSURE	GRAVELLESS	AEROBIC*	GLENDON	T.S. 1	T.S. 2	T.S. 1 & 2 WITH DISINFECTION.
SEPTIC TANK (Including effluent screens) Yearly inspections.	X	X	X	X	X Including trash traps.	X	Pump if needed.	X	
DOSING TANK Yearly inspections.	X	X	X			X	Pump if needed.		
PUMP-Switches, floats, alarm system: Inspect and test yearly.	X	X	X			X	At 6 weeks and every 6 months.		
PUMP & PUMP SCREEN Yearly inspections and cleaning.	X	X	X		X	X			
SEEPS AROUND FILL Yearly inspections and cleaning.		X				X			
VISUAL INSPECTION INTO PORTS Yearly.	X	X		X		X			
YEARLY SQUIRT TEST Check head pressure.	X	X	X						
SAMPLE COLLECTION BOD, TSS, F. COLIFORM Yearly starting at 3-6 months.	X				X	X	X	X	At 6 weeks, fecal c. or free chlorine residual every 3 mo.

REQUIREMENTS FOR ALTERNATIVE SYSTEMS (Type B)

MAINTENANCE	SAND FILTER	MOUNDS	PRESSURE	GRAVELLESS	AEROBIC*	GLENDON	T.S. 2 WITH ADDITIONAL SAMPLING REQUIRED.
SEPTIC TANK (Including effluent screens) Yearly inspections.	X	X	X	X	X Including trash traps.	X	
DOSING TANK Yearly inspections.	X	X	X			X	
PUMP-Switches, floats, alarm system: Inspect and test yearly.	X	X	X			X	
PUMP & PUMP SCREEN Yearly inspections and cleaning.	X	X	X		X	X	
SEEPS AROUND FILL Yearly inspections.		X				X	
VISUAL INSPECTION INTO PORTS Yearly.	X	X		Yearly. Reduced DF is 2X/yr. for the 1st 4 yrs. then 1X/yr.		X	
YEARLY SQUIRT TEST Check head pressure.	X	X	X				
SAMPLE COLLECTION BOD, TSS, FECAL C. 1st sample 3-6 mo after start up-2nd sample 1 yr after 1st sample.	X				X	X	At 6 weeks, fecal c. or free chlorine residual every 3 mo.

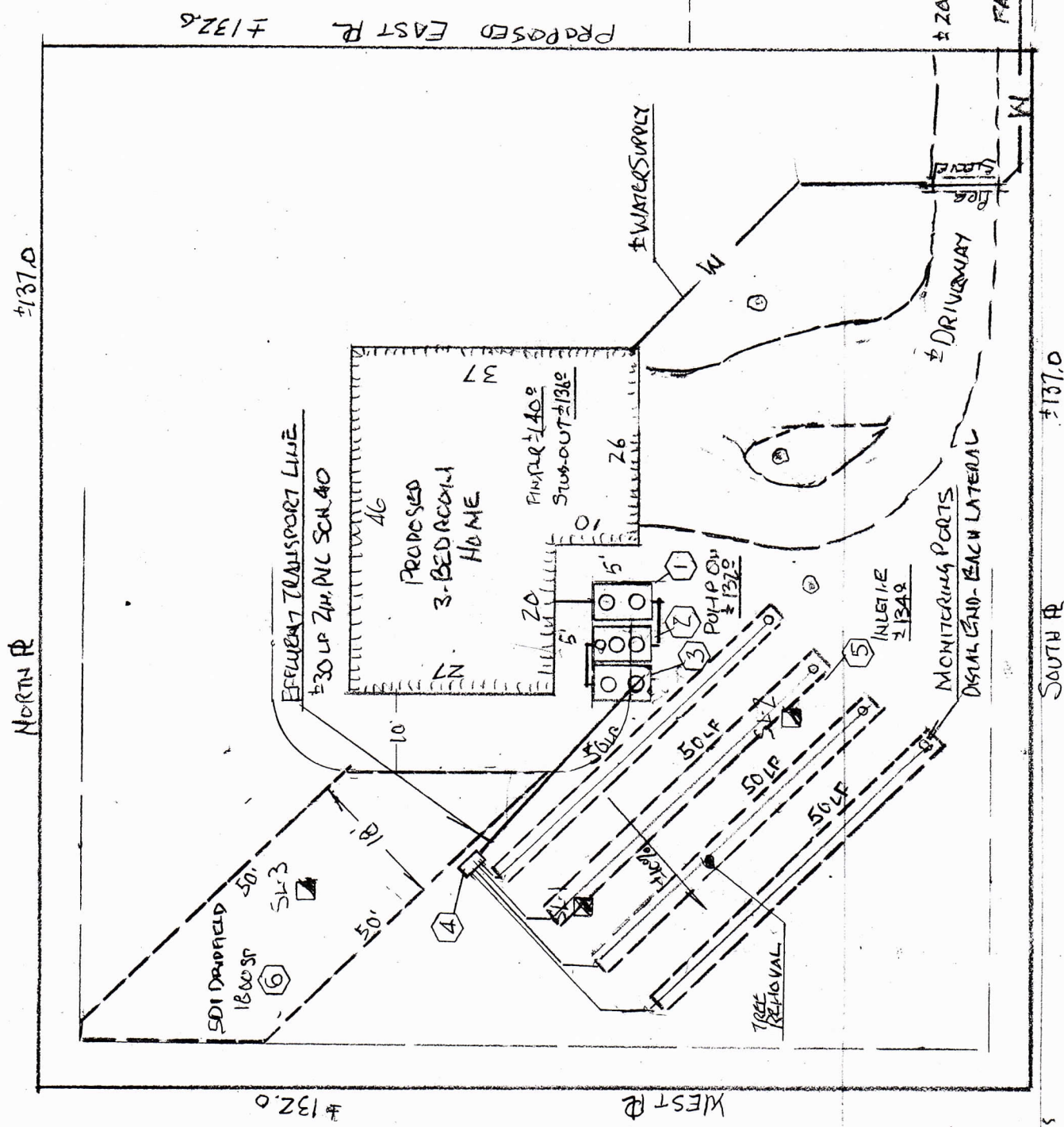
*Use this chart for aerobic and other proprietary devices unless otherwise specified by the manufacturer.

SCALE 1"=20 FEET

0 10 25 50 feet

LEGEND:

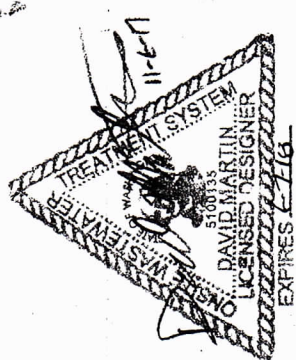
- SOIL LOGS
- PROPOSED OSS COMPONENTS
- KPDW COUNTY HEALTH DEPT.



BSA Notes & Specifications

- 1. NUMERATOR BNR 500 ATU - SCHEMATIC
- 2. 1000 GALLON SEPTIC TANK / TRASH TRAP
- 3. 1250 GALLON PUMP/DOSSING TANK
- 4. EFFLUENT PUMP CURVE
- 5. KPDW PRESSURE DISTRIBUTION WORKSHEET
- 6. EFFLUENT HEADER 1-HAIRFOLD
- 7. KPDW Drip Irrigation Design Drawings for Reserve Area
- 8. OPERATION AND MAINTENANCE (O&M) - 0414 TYPICAL SCHEDULE

- PROPOSED OSS COMPONENTS
- 1. 1000 GALLON, SINGLE-COMPARTMENT, WATER-TIGHT SEPTIC TANK / TRASH TRAP PRIMARY SETTLING TANK
 - 2. NUMERATOR BNR 500 NITROGEN REDUCTION POTENTIAL AEROBIC TREATMENT UNIT (ATU) 14 UNDEGROUND, 3-COMPARTMENT SEPTIC TANK
 - 3. 1250 GALLON, SINGLE-COMPARTMENT, WATER-TIGHT PUMP/DOSSING TANK WITH SCREENED EFFLUENT PUMP CAPABLE OF:
 - 21 GPM AT 12' PITCH
 - PUMP CONTROL BY PRE-PROGRAMMABLE TIMER SET FOR: 360 GPD 60 GAL PER DOSE 6 DOSES PER DAY
 - INSTALL ANTI-SIPHON DEVICE IN PUMP OUTLET LINE
 - PROVIDE 1-DAY'S FLOW (360 GAL) ABOVE PUMP-ON
 - 4. EFFLUENT HEADER HAIRFOLD DISTRIBUTION SYSTEM
 - 5. 200' PRESSURE DISTRIBUTION (PD) DRAINFIELD SYSTEM
 - 12\"/>
 - INSTALL BARREL WITH CONTOUR TYPICAL OF DESIGN PLAN
 - 1\"/>
 - 12\"/>
 - SUSPEND FROM TOP OF CURB/RESERVE DRAINFIELD AREA



11-A-11	OSS-DETAIL SITE PLAN	SHEET 2 OF 2	KARSTEN
OSS-DETAIL SITE PLAN			
TL 142502-1-024-2009 [6]			
NOV. 4, 2017			11-13-17
			SHEET 2 OF 2



REFERENCE L

Land Title Company of Kitsap County

LEADERSHIP • TRUST • COMMITMENT

Agent for Old Republic National Title Insurance Company

Call/email your title questions to:

9657 Levin Road NW #100 · Silverdale, WA 98383

(360)692-2233 Fax: (360)692-2244

Title Dept.: titlesilverdale@landtitleco.net

Recording Desk: KITSAP - recordingkitsap@landtitleco.net MASON - recordingshelton@landtitleco.net

Our File No.: E-270521

Seller Name: Cameron J. Karsten, Lily C. Karsten

Buyer Name: AGO Land Surveying LLC / City of Bainbridge Island

Address Reference: 10871 Falk Road NE
Bainbridge Island, WA 98110

Contacts:

AG O Land Surveying, LLC

Attn: Candy Korsmo

Phone Number: (360)779-4299

1015 NE Hostmark Street, Suite 103
Poulsbo, WA 98370

PLAT CERTIFICATE

Policy No. A46051- SGW08002512 (1)

Fee: \$ 300.00
Tax: \$ 27.00

Total: \$ 327.00

Certificate No. SGW08002512 (1)
Order No. E-270521
Subdivision / Unit
Reference



OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

a Corporation, of Minneapolis, Minnesota
herein after referred to as the Company.

TO: A G O LAND SURVEYING, LLC, a Washington Limited Liability Company and City of Bainbridge Island, herein referred to as the Addressee.

In the matter of the plat submitted for the your approval, the Company has examined the records of the County Auditor and County Clerk of Kitsap County, Washington, and the records of the Clerk of the United States Courts holding terms in said County and such examination hereby certifies that the title to the following deccribed land, Situate in said County, to-wit:

Vested in: CAMERON J. KARSTEN AND LILY C. KARSTEN, husband and wife

Legal Description: SEE ATTACHED EXHIBIT "A"

Special Exceptions:

1. Rights of parties in possession and claims that may be asserted under unrecorded instruments, if any.

SEE ATTACHED SCHEDULE "B" FOR CONTINUED EXCEPTIONS

Note: the liability of the Company under this Certificate shall be limited to the amount of actual loss sustained by the Addressee because of reliance upon the information set forth herein, but in no event shall such liability exceed the fee paid.

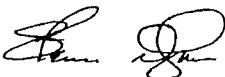
Effective Date: September 28, 2017 at 08:00 AM

Issued through the offices of:

Land Title Company of Kitsap County
9657 Levin Road NW #100 Silverdale, WA 98383
(360)692-2233

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
a Corporation
400 Second Avenue South, Minneapolis, MN 55401
(612) 371-1111

Countersigned:

By:  _____

By

Attest



President

Secretary

SUBDIVISION GUARANTEE

EXHIBIT "A"

Guarantee No.: A46051-PCW SGW08002512 (1)

LEGAL DESCRIPTION

RESULTANT LUNDAHL PARCEL OF BOUNDARY LINE AGREEMENT RECORDED UNDER AUDITOR'S FILE NO. 201309260238 AND AS DEPICTED ON SURVEY RECORDED IN VOLUME 78 OF SURVEYS, PAGE(S) 74, UNDER AUDITOR'S FILE NO. 201309260239, BEING A PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, SECTION 14, TOWNSHIP 25 NORTH, RANGE 2 EAST, W.M., IN KITSAP COUNTY, WASHINGTON.

SUBDIVISION GUARANTEE

Guarantee No.: A46051-PCW SGW08002512 (1)

SCHEDULE B - CONTINUED EXCEPTIONS

2. Agreement, including its terms, covenants and provisions;
Recorded: September 26, 2013
Recording No.: 201309260239
For: boundary line
3. Matters disclosed by Survey recorded September 26, 2013 in Volume 78 of Surveys, page 74 under Auditor's File No. 201309260239.
4. Matters disclosed by Survey recorded November 26, 2007 in Volume 20 of Surveys, page 88, 89, 90 and 91 under Auditor's File No. 200711260151.
5. Deed of trust, to secure an indebtedness of \$230,000.00 including any interest, advances or other obligations secured thereby;
Recorded: April 7, 2014
Recording No.: 201404070088
Grantor: Cameron J. Karsten and Lily C. Karsten
Trustee: Pacific Northwest Title Company
Beneficiary: John P. Tremper
6. Deed of trust, to secure an indebtedness of \$155,000.00 including any interest, advances or other obligations secured thereby;
Recorded: April 7, 2014
Recording No.: 201404070089
Grantor: Cameron J. Karsten and Lily C. Karsten
Trustee: Pacific Northwest Title Company
Beneficiary: John P. Tremper
7. Possible liability for U.L.I.D. in favor of the City of Bainbridge Island. Please call (206) 780-8610 for more information.
8. General taxes for the second half of 2017, which become delinquent after October 31, 2017, if unpaid;
Amount: \$1,863.02
Tax Account No.: 142502-1-024-2009
Affects: said premises
Levy Code: 0215
Land Value: \$158,880.00
Improvement Value: \$190,850.00
Total Assessed Value: \$349,730.00

NOTE: General taxes for the full year bill in an amount of \$3,726.04.

SUBDIVISION GUARANTEE

Guarantee No.: A46051-PCW SGW08002512 (1)

SPECIAL EXCEPTIONS

(Continued)

END SPECIAL EXCEPTIONS

BW/c

- A. NOTE: The following information will be required on the first page of all recorded documents per RCW 36.18 AND 65.04 - Document Standardization:

Brief Legal: NW/NE 14-25-2E
Tax Account No.: 142502-1-024-2009

Privacy Statement
Land Title Company of Kitsap County as agent of
Old Republic Title, Ltd.

PURPOSE OF THIS NOTICE

Title V of the Gramm-Leach-Bliley Act (GLBA) generally prohibits any financial institution, directly or through its affiliates, from sharing nonpublic personal information about you with a nonaffiliated third party unless the institution provides you with a notice of its privacy policies and practices, such as the type of the information that it collects about you and the categories of persons or entities to whom it may be disclosed. In compliance with the GLBA, we are providing you with this document, which notifies you of the privacy policies and practices of OLD REPUBLIC TITLE, LTD.

We may collect nonpublic personal information about you from the following sources:

Information we may receive from you such as on applications or other forms.

Information about your transactions we secure from our files, or from (our affiliates or), others.

Information we receive from a consumer reporting agency.

Information that we receive from others involved in your transaction, such as the real estate agent or lender.

Unless it is specifically stated otherwise in an amended Privacy Policy Notice, no additional nonpublic personal information will be collected about you.

We may disclose any of the above information that we collect about our customers or former customers to our affiliates or to nonaffiliated third parties as permitted by law.

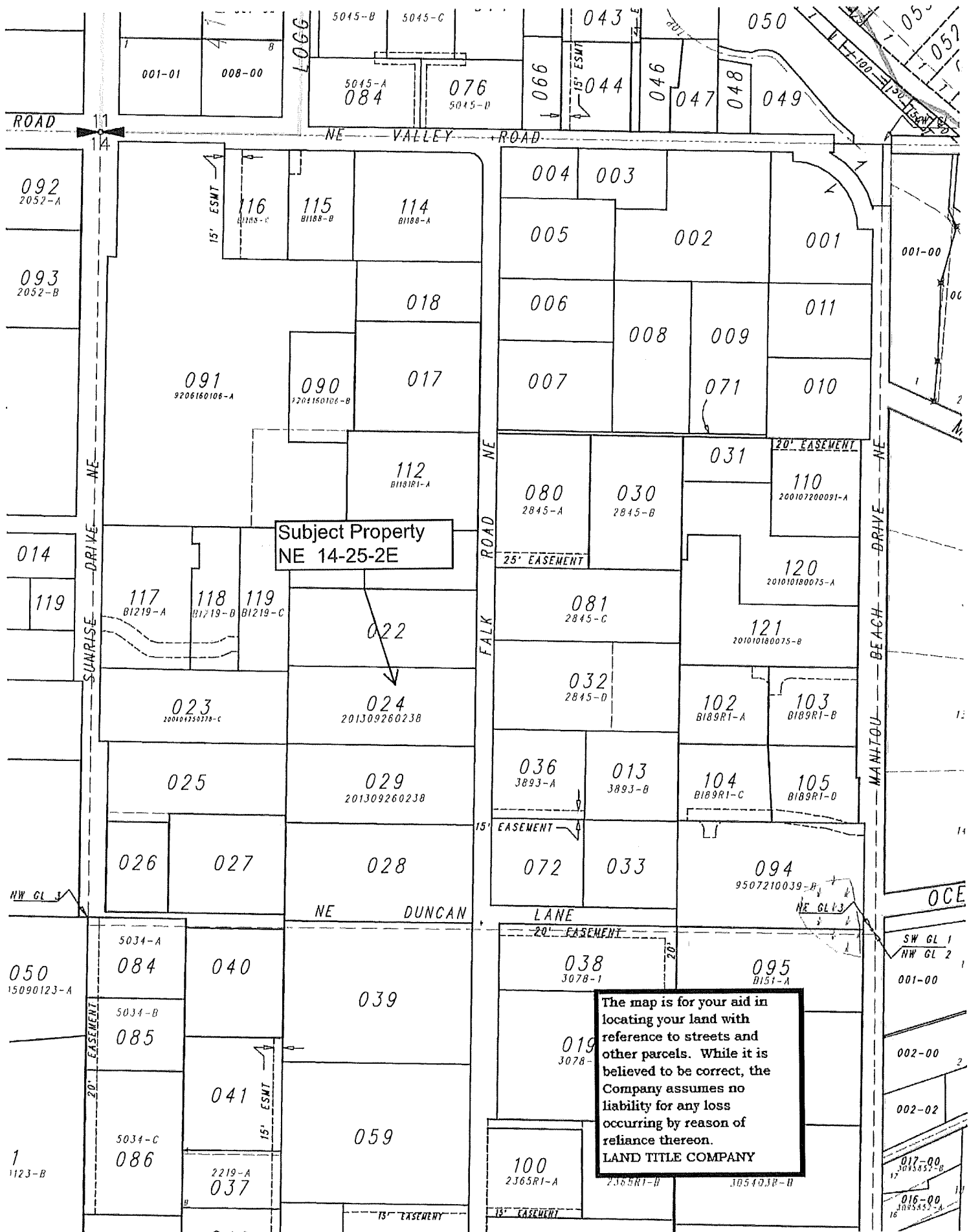
We also may disclose this information about our customers or former customers to the following types of nonaffiliated companies that perform marketing services on our behalf or with whom we have joint marketing agreements:

Financial service providers such as companies engaged in banking, consumer finance, securities and insurance.

Non-financial companies such as envelope stuffers and other fulfillment service providers.

WE DO NOT DISCLOSE ANY NONPUBLIC PERSONAL INFORMATION ABOUT YOU WITH ANYONE FOR ANY PURPOSE THAT IS NOT SPECIFICALLY PERMITTED BY LAW.

We restrict access to nonpublic personal information about you to those employees who need to know that information in order to provide products or services to you. We maintain physical, electronic, and procedural safeguards that comply with federal regulations to guard your nonpublic personal information.



[Click here to Pay by Credit Card - 2.5% fee]
 [Click here to Pay by E-Check - \$1.50 fee]

[Click here to Print]



Meredith R. Green, CPA
 MAKE REMITTANCES PAYABLE TO:
 Kitsap County Treasurer
 614 Division Street, MS-32
 Port Orchard, WA 98366

2017 WEB TAX STATEMENT

Printed:09/28/2017

KARSTEN CAMERON J & LILY C
 10871 FALK ROAD NE
 BAINBRIDGE ISLAND, WA 98110

Account Number	** For Informational Purposes Only **
142502-1-024-2009	Account ID 1292986
	Taxpayer Name: KARSTEN CAMERON J & LILY C

Tax Property Description

14252E
 RESULTANT "LUNDAHL" PARCEL OF BOUNDARY LINE AGREEMENT RECORDED UNDER AUDITOR'S FILE NO. 201309260238, AND AS DEPICTED ON SURVEY RECORDED UNDER AUDITOR'S FILE NO. 201309260239, IN VOLUME 78 OF SURVEYS, PAGE 74, RECORDS OF KITSAP COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: THAT PORTION OF THE BELOW DESCRIBED TOTAL PARCEL WHICH INCLUDES PARCELS I AND II AND WHICH LIES NORTH OF THE FOLLOWING DESCRIBED LINE: A LINE OF AGREEMENT SITUATE IN THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 14, TOWNSHIP 25 NORTH, RANGE 2 EAST, W.M., CITY OF BAINBRIDGE ISLAND, KITSAP COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID SUBDIVISION FROM WHICH THE NORTHWEST CORNER OF SAID SECTION 14 BEARS NORTH 88°38'27" WEST 2647.77 FEET; THENCE ALONG THE NORTH LINE OF SAID NORTH

VALUE INFORMATION FOR TAX

	2016	2017
Land:	\$155,000	\$158,880
Buildings, etc.:	\$188,630	\$190,850
TOTAL VALUE:	\$343,630	\$349,730

TOTAL TAXABLE VALUE:(Land + Buildings, etc. minus Qualifying Exemptions)
 \$343,630 \$349,730

Levy Code 0215 General Levy Rate per \$1000 10.1651
[\[Click here for Levy Information\]](#)

Voted Rate -- 34.0 % Voter Approved

Parcel Location: 10871 FALK RD NE

GENERAL TAX DISTRIBUTION

	2016	2017
STATE GENERAL	\$809.40	\$740.28
REGIONAL LIBRARY	\$131.20	\$123.58
LOCAL SCHOOL	\$1,046.79	\$1,080.55
COUNTY	\$400.84	\$379.89
CITY	\$428.00	\$401.46
FIRE	\$526.25	\$500.84
PUD	\$27.69	\$25.92
PARK AND REC	\$316.75	\$302.52
2016 Total:	\$3,686.92	2017 Total: \$3,555.04

Current Taxes

ASSESSMENT	2016	2017
Noxious Weed	\$2.00	\$2.00
Stormwater Management	\$146.76	\$169.00
Asmt Total	\$148.76	\$171.00

2017 General Property Tax + Assessments = \$3,726.04

TOTAL AMOUNT DUE: \$1,863.02

First half taxes paid after April 30th will incur interest plus penalty computed on the FULL year amount (RCW 84.56.020).

Account Number:	142502-1-024-2009	(1292986)	Parcel Location: 10871 FALK RD NE
			SECOND HALF - Pay or Postmark by October 31

If you did not make a first half payment or pay the delinquent taxes listed, if any, call (360) 337-7135 for delinquent tax, interest and penalty due. Delinquent payments received without interest and penalty will be returned. See Treasurer Information link.

2

KARSTEN CAMERON J & LILY C
 10871 FALK ROAD NE
 BAINBRIDGE ISLAND, WA 98110

	TAX YEAR	Prev Tax Owng	Interest/ Penalty	TOTAL	
				Full	Half
Current:	2017				\$1,863.02
Amount Due:				\$1,863.02	

Make Remittance Payable To
 Kitsap County Treasurer - 614 Division Street, MS-32
 Port Orchard, WA 98366

When recorded return to:
Mr. and Mrs. Cameron J. Karsten
10871 Falk Road NE
Bainbridge Island, WA 98110

Filed for Record at Request of
Bainbridge Escrow a division of Winslow Law Group
Escrow Number: 1403008-B
Title Order Number: 32137983-32144647

STATUTORY WARRANTY DEED

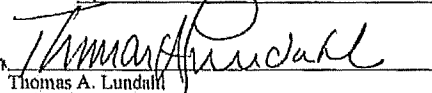
Grantor: Thomas A. Lundahl and Elaine C. Lundahl
Grantees: Cameron J. Karsten and Lily C. Karsten
Abbreviated Legal: ⁰⁰³⁹ RESULTANT LUNDHAL PARCEL OF BOUNDARY LINE AGREEMENT
Additional legal(s) on page: 2 ^{AT NOS. 201309200238 AND 201309201218, PTN NW/NE, SECTION 14}
Assessor's Tax Parcel Number(s): 142502-1-024-2009 ^{TOWNSHIP 26 NORTH, RANGE 2 EAST}

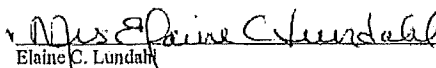
THE GRANTOR Thomas A. Lundahl and Elaine C. Lundahl, husband and wife for and in consideration of TEN DOLLARS AND OTHER GOOD AND VALUABLE CONSIDERATION in hand paid, conveys and warrants to Cameron J. Karsten and Lily C. Karsten, husband and wife the following described real estate, situated in the County of Kitsap, State of Washington

AS SET FORTH IN EXHIBIT "A" ATTACHED WHICH BY THIS REFERENCE IS MADE A PART
HEREOF.

SUBJECT TO:
AS SET FORTH IN EXHIBIT "A" ATTACHED WHICH BY THIS REFERENCE IS MADE A PART
HEREOF.

Dated April 1, 2014


Thomas A. Lundahl

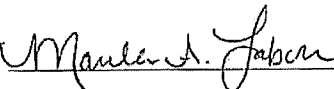

Elaine C. Lundahl

STATE OF WASHINGTON
COUNTY OF King SS:

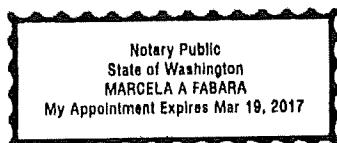
I certify that I know or have satisfactory evidence that Thomas A. Lundahl and Elaine C. Lundahl are the person(s) who appeared before me, and said person s acknowledged that they signed this instrument and acknowledged it to be their free and voluntary act for the uses and purposed mention in this instrument.

Dated

4/3/14



Notary Public in and for the State of WASHINGTON
Residing at: Bellevue, WA
My appointment expires: March 19, 2017



2014EX01917
2014-04-07
HFREEMAN
\$6769.00

EXHIBIT A

RESULTANT LUNDAHL PARCEL OF BOUNDARY LINE AGREEMENT RECORDED UNDER AUDITOR'S FILE NO. 201309260238, AND AS DEPICTED ON SURVEY RECORDED IN VOLUME 78 OF SURVEYS, PAGE 74, UNDER AUDITOR'S FILE NO. 201309260239, BEING A PORTION OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER, SECTION 14, TOWNSHIP 25 NORTH, RANGE 2 EAST, W.M., IN KITSAP COUNTY, WASHINGTON.

SUBJECT TO:

Boundary Line Agreement and Quit Claim Deeds and the terms and conditions thereof:


Recorded: September 26, 2013
Auditor's File No.: 201309260238


~~An inspection of said premises in September, 2013, disclosed access to said premises is over driveway located along Southeast property line of the North adjoiner.~~

Local improvement assessments, and/or special assessment, if any, levied by the City of Bainbridge Island.

Matters delineated, described and noted on Survey recorded November 26, 2007, in Volume 20, Page 89, under Auditor's File No. 200711260151.

Matters delineated, described and noted on Survey recorded September 26, 2013, in Volume 78, Page 74, under Auditor's File No. 201309260239.

✓ INITIAL 

✓ INITIAL 

INITIAL ____

INITIAL ____

WHEN RECORDED, MAIL TO:

Bruce P. Weiland
151 Finch Place SW, Suite A
Bainbridge Island, WA 98110
"Said document(s) were filed for
record by Pacific Northwest Title as
accommodation only. It has not been
examined as to proper execution or
as to its effect upon title."

PACIFIC NW TITLE 201309260238
Boundary Line Adjustment Rec Fee: \$ 150.00 Page: 1 of 11
09/26/2013 03:17 PM
Walter Washington, Kitsap Co Auditor

**BOUNDARY LINE AGREEMENT
AND
QUIT CLAIM DEEDS**

Grantee/Grantor: Thomas A. and Elaine C. Lundahl
Grantee/Grantor: Nicholas Geoffrey Richard Hall and Jenna Blakey Hall
Legal Descriptions: Portions of the NW1/4 of the NE1/4 of Sec. 14, T25N, R2E,
W.M., Kitsap County, Washington.
Tax Account Nos: 142502-1-024-2009 and 142502-1-029-2004

This BOUNDARY LINE AGREEMENT (the "Agreement") is made by and
between the following parties:

THOMAS A. LUNDAHL and ELAINE C. LUNDAHL, husband and wife
(collectively, "Lundahl"); and

NICHOLAS GEOFFREY RICHARD HALL and JENNA BLAKEY HALL,
husband and wife (collectively "Hall");

The parties agree to and acknowledge the following recitals, all of which are fully
incorporated by reference into the Agreement set forth below.

A. Lundahl is the fee owner of that certain real property legally described on
Exhibit A attached hereto (the "Original Lundahl Parcel A");

B. Hall is the fee owner of that certain real property legally described on
Exhibit B attached hereto (the "Original Hall Parcel");

C. the Original Lundahl Parcel and the Original Hall Parcel share a common
boundary line; provided that the exact location of the common boundary line cannot be
fully identified from existing public records, monuments or landmarks; and

1

KITSAP COUNTY TREASURER EXCISE

09/26/2013

2013EX06691

Total: 10.00

Clerk's Initial



D. Pursuant to RCW 58.04.007, and without creating any additional lots, tracts or parcels, the parties agree to resolve the foregoing boundary ambiguities, and permanently fix the common boundary line between the Original Lundahl Parcel and the Original Hall Parcel on the following terms and conditions.

NOW, THEREFORE, in consideration of the mutual covenants set forth in this Agreement, the parties agree as follows:

1. Establishment of Common Boundary. Lundahl and Hall hereby agree to permanently adjust and fix the common boundary line between their properties as follows: (i) the legal description of the Original Lundahl Parcel shall be revised to read as shown on Exhibit C attached hereto (the "Resultant Lundahl Parcel"); (ii) the legal description of the Original Hall Parcel shall be revised to read as shown on Exhibit D attached hereto (the "Resultant Hall Parcel"); and (iii) the foregoing revised common boundary line shall be as shown on the survey map attached hereto as Exhibit E. This Agreement shall be recorded with the Auditor of Kitsap County, Washington.

2. Quit Claim Deeds. In order to implement the boundary line adjustment contemplated hereunder:

(a) Lundahl hereby acknowledges, conveys and quit claims to Hall the entire right, title and interest (if any) held by Lundahl in the Resultant Hall Parcel; and.

(b) Hall hereby acknowledges, conveys and quit claims to Lundahl, the entire right, title and interest (if any) held by Hall in the Resultant Lundahl Parcel.

Pursuant to RCW 58.04.007, the parties agree that this Agreement, executed and acknowledged in the form of a deed, shall be sufficient to cause Lundahl to be the fee simple owner of the Resultant Lundahl Parcel, and Hall to be the fee simple owner of the Resultant Hall Parcel, without the need to record any further deeds or other instruments.

3. Recording of Survey. In order to implement this Agreement, the parties additionally agree to cooperate in the creation and recording of a survey map, to the extent required and in the form required under RCW 58.04.007, to finalize the foregoing boundary line clarification (the "Survey"). The Survey shall be recorded simultaneously with the recording of this Agreement, and the Auditor's File Number for this Agreement shall be entered onto the face of the Survey before recording, for purposes of cross-reference.

4. General Terms. This Agreement may not be modified or amended except by a further written agreement, executed (with notarization) by all then-current owners of the Resultant Lundahl Parcel and Resultant Hall Parcel, and recorded in Kitsap County, Washington. This Agreement contains the entire agreement between the

parties relative to the subject matter hereof. In the event of any dispute hereunder, the substantially prevailing party in any litigation or other proceedings shall be reimbursed by the substantially non-prevailing party for all costs and expenses, including, without limitation, attorneys' fees. This Agreement shall operate as a covenant running with the land, and shall apply to, be binding upon and inure to the benefit of the parties hereto, and their respective successors, assigns, heirs and devisees with respect to ownership of the relevant real property.

DATED AS OF 24 day of September, 2013.

HALL:

Nicholas Geoffrey Richard Hall
NICHOLAS GEOFFREY RICHARD HALL
Jenna Blakey Hall
JENNA BLAKEY HALL

LUNDAHL:

Thomas A. Lundahl
THOMAS A. LUNDAHL
Elaine C. Lundahl
ELAINE C. LUNDAHL

EXHIBITS

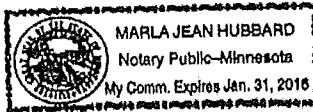
- | | |
|-----------|---|
| Exhibit A | Legal Description of Original Lundahl Parcel |
| Exhibit B | Legal Description of Original Hall Parcel |
| Exhibit C | Legal Description of Resultant Lundahl Parcel |
| Exhibit D | Legal Description of Resultant Hall Parcel |
| Exhibit E | Survey Map of Agreed Lot Line |

STATE OF MINNESOTA }
COUNTY OF WABASHA } ss.

I certify that I know or have satisfactory evidence that Thomas A. Lundahl is the person who appeared before me, and said person acknowledged that he/she signed this instrument as his/her free and voluntary act for the uses and purposes mentioned in this instrument.

DATED: 9-24-13

(X) Marla Jean Hubbard
Print Name: Marla Jean Hubbard
NOTARY PUBLIC for the State of Minnesota
residing at: Lake City
My appointment expires: 1-31-16



STATE OF MINNESOTA)
COUNTY OF WABATSA) ss.

I certify that I know or have satisfactory evidence that Elaine C Lundak is the person who appeared before me, and said person acknowledged that he/she signed this instrument as his/her free and voluntary act for the uses and purposes mentioned in this instrument.

DATED: 9-24-13

(X) Marla Jean Hubbard
Print Name: Marla Jean Hubbard
NOTARY PUBLIC for the State of Washington
residing at: 1111 1st St NW
My appointment expires: 1-31-16
Notary Public-Minnesota
My Comm. Expires Jan. 31, 2016

STATE OF WASHINGTON)
COUNTY OF KITSAP) ss.

I certify that I know or have satisfactory evidence that _____ is the person who appeared before me, and said person acknowledged that he/she signed this instrument as his/her free and voluntary act for the uses and purposes mentioned in this instrument.

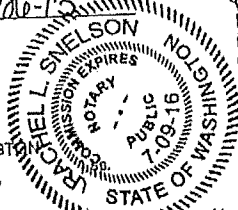
DATED: _____

(X) _____
Print Name: _____
NOTARY PUBLIC for the State of Washington
residing at: _____
My appointment expires: _____

STATE OF WASHINGTON)
COUNTY OF KITSAP) ss.

I certify that I know or have satisfactory evidence that Richard Hall is the person who appeared before me, and said person acknowledged that he/she signed this instrument as his/her free and voluntary act for the uses and purposes mentioned in this instrument.

DATED: 9-26-13

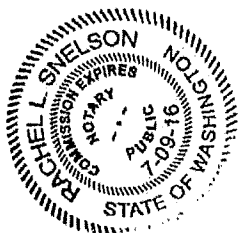


(X) Rachel L. Snelson
Print Name: Rachel L. Snelson
NOTARY PUBLIC for the State of Washington
residing at: Paulsbo
My appointment expires: 7-9-16

STATE OF WASHINGTON)
COUNTY OF KITSAP) ss.

I certify that I know or have satisfactory evidence that Kenra Blakey Hall is the person who appeared before me, and said person acknowledged that he/she signed this instrument as his/her free and voluntary act for the uses and purposes mentioned in this instrument.

DATED: 9-26-13



(X) Rachel L. Snelson
Print Name: Rachel L. Snelson
NOTARY PUBLIC for the State of Washington
residing at: Paulsbo
My appointment expires: 7-9-16

ADAM & GOLDSWORTHY, INC.
LAND SURVEYORS

MARK R. ADAM, PLS
JAMES R. GOLDSWORTHY, PLS, CFedS
GANDYCK J. KORMO
GAVIN M. OAH, PLS, CFedS

1015 NE HOSMARK STREET, #109
POULSEN, WA 98370
(360) 779-4298 • (206) 842-8588
FAX (360) 779-4213
WWW.A&G.S.COM

September 17, 2013
Lundahl - Job No. 13-5480

EXHIBIT A

Legal Description of Record

ORIGINAL LUNDAHL PARCEL

That portion of the Northwest quarter of the Northeast quarter of Section 14, Township 25 North, Range 2 East, W.M., in Kitsap County, Washington, described as follows:

Beginning 297 feet North of the Southwest corner of said Northwest quarter of the Northeast quarter;
Thence East 330 feet to the True Point of Beginning;
Thence North 132 feet;
Thence East 330 feet;
Thence South 132 feet;
Thence West 330 feet to the True Point of Beginning.

EXCEPT Falk Road NE

EXCEPT any portion lying within that certain tract of land conveyed to John Docherty Wilson and Amanda Cato Wilson, husband and wife, by deed recorded on October 5, 1978 under Auditor's File No. 7810050099.



9/17/13

ADAM & GOLDSWORTHY, INC.
LAND SURVEYORS

MARG R. ADAM, PLS
JAMES R. GOLDSWORTHY, PLS, CFEDS
GANDYCE J. KORSHO
GAVIN M. OAK, PLS, CFEDS

1015 NE HORTMARK STREET, #103
POULSEN, WA 98370
(360) 779-4299 • (206) 842-9588
FAX (360) 779-4213
WWW.AGOLS.COM

September 17, 2013
Lundahl - Job No. 13-5480

EXHIBIT B

Legal Description of Record

ORIGINAL HALL PARCEL

That portion of the Northwest quarter of the Northeast quarter of Section 14, Township 25 North, Range 2 East, W.M., in Kitsap County, Washington, described as follows:

Beginning at a point 1155 feet South of the Northwest corner of said Northwest quarter of the Northeast quarter;
Thence East 330 feet to the True Point of Beginning;
Thence North 132 feet;
Thence East 330 feet;
Thence South 132 feet;
Thence West 330 feet to the True Point of Beginning.

EXCEPT the road along the East line thereof.



9/17/13

ADAM & GOLDSWORTHY, INC.
LAND SURVEYORS

MARC R. ADAM, PLS
JAMES R. GOLDSWORTHY, PLS, CFPS
GANDYCE J. KOREMS
GAVIN M. OAK, PLS, CFPS

1015 NE HORTSMAN STREET, #103
POULSEN, WA 98370
(360) 778-4299 • (206) 842-9398
FAX (360) 778-4213
WWW.ADGOLV.COM

September 17, 2013
Lundahl - Job No. 13-5480

EXHIBIT C

RESULTANT LUNDAHL PARCEL

That portion of the below described total parcel which includes Parcels I and II and which lies North of the following described line:

A line of agreement situate in the Northwest quarter of the Northeast quarter of Section 14, Township 25 North, Range 2 East, W.M., City of Bainbridge Island, Kitsap County, Washington, described as follows:
Beginning at the Northwest corner of said subdivision from which the Northwest corner of said Section 14 bears North 88°38'27" West 2647.77 feet;
Thence, along the North line of said Northwest quarter of the Northeast quarter of Section 14, South 88°39'36" East 329.93 feet to the Northwest corner of the East one-half of the West one-half of said Northwest quarter of the Northeast quarter of Section 14;
Thence along the West line of said subdivision, South 01°07'02" West 1023.00 feet to a ¾" iron pipe set by Adam & Goldsworthy, Inc. in March, 2006, and the True Point of Beginning;
Thence South 88°39'36" East 155.40 feet to a ¾" iron pipe set by Adam & Goldsworthy, Inc. in March, 2006;
Thence continuing South 88°39'36" East 153.62 feet to a ¾" iron pipe set by Adam & Goldsworthy, Inc. in March, 2006;
Thence continuing South 88°39'36" East 21.78 feet to the East line of said subdivision and the terminus.

Parcel I

That portion of the Northwest quarter of the Northeast quarter of Section 14, Township 25 North, Range 2 East, W.M., in Kitsap County, Washington, described as follows:

Beginning 297 feet North of the Southwest corner of said Northwest quarter of the Northeast quarter;
Thence East 330 feet to the True Point of Beginning;
Thence North 132 feet;
Thence East 330 feet;
Thence South 132 feet;
Thence West 330 feet to the True Point of Beginning.

EXHIBIT C - continued
September 17, 2013
Job No. 13-5480

EXCEPT Falk Road NE

EXCEPT any portion lying within that certain tract of land conveyed to John Docherty Wilson and Amanda Cato Wilson, husband and wife, by deed recorded on October 5, 1978 under Auditor's File No. 7810050099.

Parcel II

That portion of the Northwest quarter of the Northeast quarter of Section 14, Township 25 North, Range 2 East, W.M., in Kitsap County, Washington, described as follows:

Beginning at a point 1155 feet South of the Northwest corner of said Northwest quarter of the Northeast quarter;
Thence East 330 feet to the True Point of Beginning;
Thence North 132 feet;
Thence East 330 feet;
Thence South 132 feet;
Thence West 330 feet to the True Point of Beginning.

EXCEPT the road along the East line thereof.



9/17/13

ADAM & GOLDSWORTHY, INC.
LAND SURVEYORS

MARC R. ADAM, PLS
JANNA R. GOLDSWORTHY, PLS, CFPS
GANGYAK J. KORRMA
GAVIN M. OAK, PLS, CFPS

1015 NE HORTMARK STREET, #103
POULSBRO, WA 98370
(360) 779-4289 • (206) 842-9888
FAX (360) 779-4213
WWW.AGOLS.COM

September 17, 2013
Lundahl - Job No. 13-5480

EXHIBIT D

RESULTANT HALL PARCEL

That portion of the below described total parcel which includes Parcels I and II and which lies South of the following described line:

A line of agreement situate in the Northwest quarter of the Northeast quarter of Section 14, Township 25 North, Range 2 East, W.M., City of Bainbridge Island, Kitsap County, Washington, described as follows:
Beginning at the Northwest corner of said subdivision from which the Northwest corner of said Section 14 bears North 88°38'27" West 2647.77 feet;
Thence, along the North line of said Northwest quarter of the Northeast quarter of Section 14, South 88°39'36" East 329.93 feet to the Northwest corner of the East one-half of the West one-half of said Northwest quarter of the Northeast quarter of Section 14;
Thence along the West line of said subdivision, South 01°07'02" West 1023.00 feet to a ¾" iron pipe set by Adam & Goldsworthy, Inc. in March, 2006, and the True Point of Beginning;
Thence South 88°39'36" East 155.40 feet to a ¾" iron pipe set by Adam & Goldsworthy, Inc. in March, 2006;
Thence continuing South 88°39'36" East 153.62 feet to a ¾" iron pipe set by Adam & Goldsworthy, Inc. in March, 2006;
Thence continuing South 88°39'36" East 21.78 feet to the East line of said subdivision and the terminus.

Parcel I

That portion of the Northwest quarter of the Northeast quarter of Section 14, Township 25 North, Range 2 East, W.M., in Kitsap County, Washington, described as follows:

Beginning 297 feet North of the Southwest corner of said Northwest quarter of the Northeast quarter;
Thence East 330 feet to the True Point of Beginning;
Thence North 132 feet;
Thence East 330 feet;
Thence South 132 feet;

EXHIBIT D - continued
September 17, 2013
Job No. 13-5480

Thence West 330 feet to the True Point of Beginning.

EXCEPT Falk Road NE

EXCEPT any portion lying within that certain tract of land conveyed to John Docherty Wilson and Amanda Cato Wilson, husband and wife, by deed recorded on October 5, 1978 under Auditor's File No. 7810050099.

Parcel II

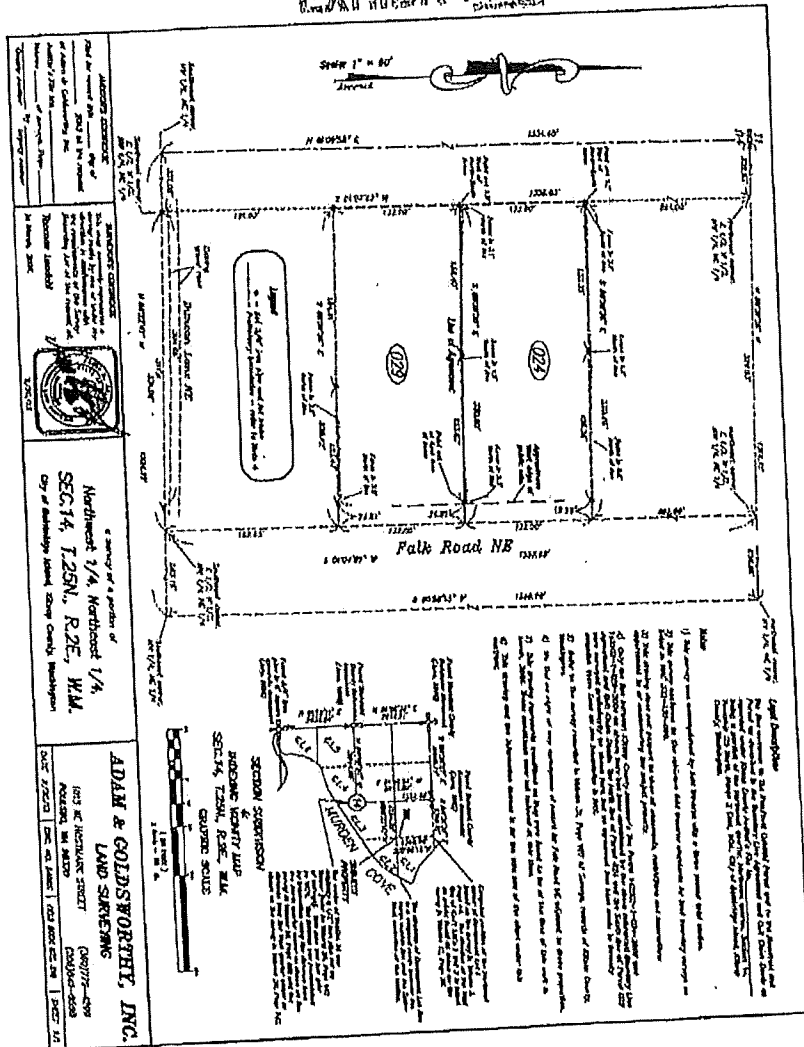
That portion of the Northwest quarter of the Northeast quarter of Section 14, Township 25 North, Range 2 East, W.M., in Kitsap County, Washington, described as follows:

Beginning at a point 1155 feet South of the Northwest corner of said Northwest quarter of the Northeast quarter;
Thence East 330 feet to the True Point of Beginning;
Thence North 132 feet;
Thence East 330 feet;
Thence South 132 feet;
Thence West 330 feet to the True Point of Beginning.

EXCEPT the road along the East line thereof.



9/17/13



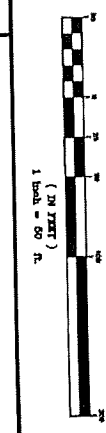
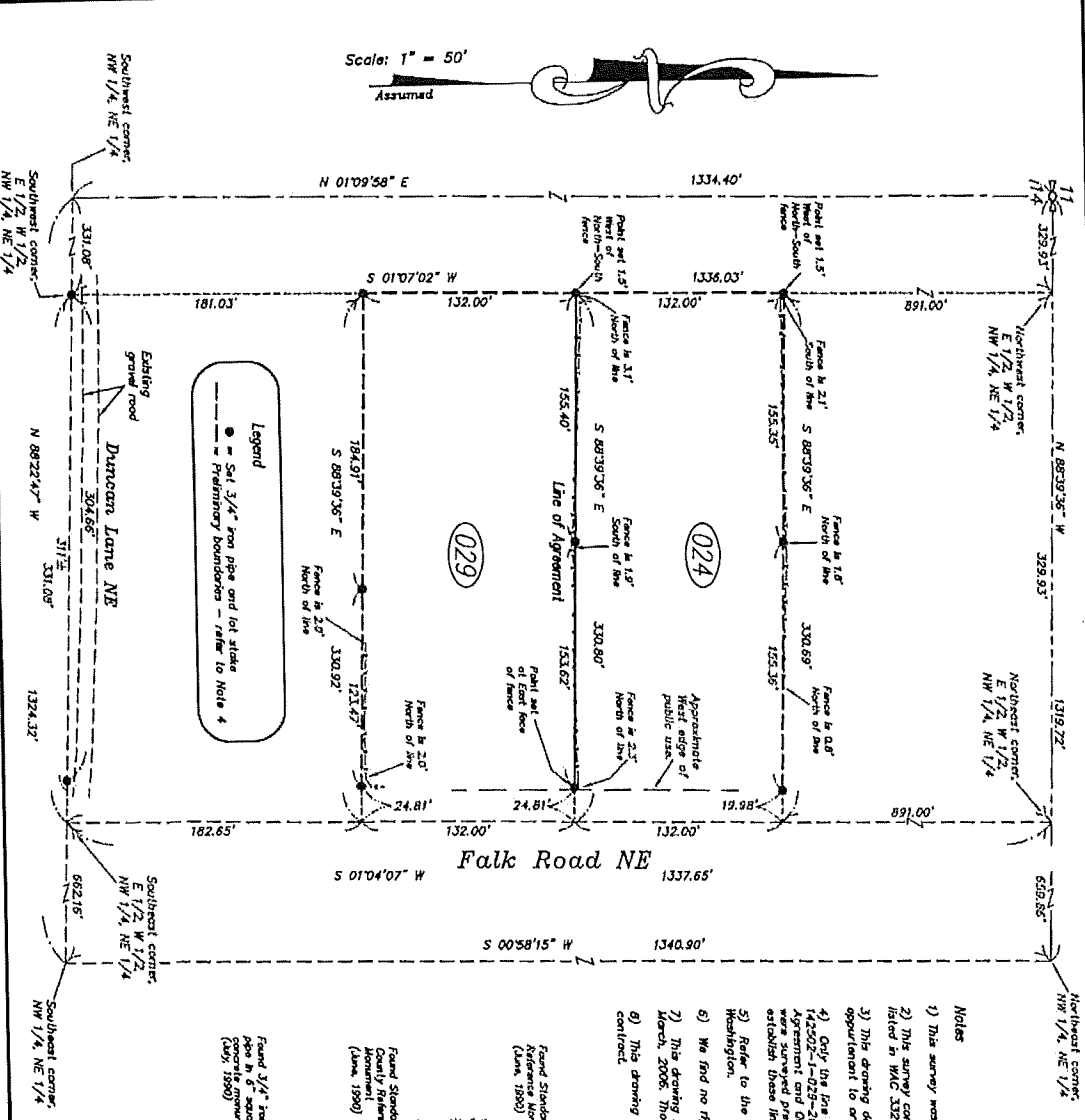
AUDITOR'S CERTIFICATE
 Filed for record this 21st day of
 September, 2013 at the request
 of Adam & Goldsworthy, Inc.
 Auditor's File No. 201309260234
 Volume 1 of 1
 County Auditor
 Joseph J. Audette

SURVEYOR'S CERTIFICATE
 This map correctly represents a
 survey made by me or under my
 direction in conformity with the
 requirements of the Survey
 Recording Act of the request of
 Thomas Lundahl
 in March, 2006.
 9/23/13

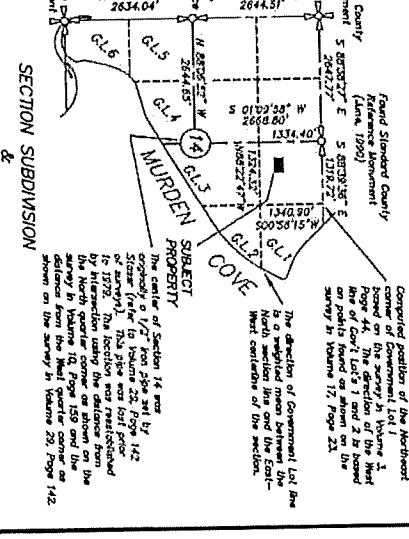


a survey of a portion of
 Northwest 1/4, Northeast 1/4,
 SEC. 14, T. 25N., R. 2E., W.M.
 City of Bonbridge Island, Kitsap County, Washington

ADAM & GOLDSWORTHY, INC.
 LAND SURVEYING
 1015 NE HOSTMARK STREET
 POULSBRO, WA 98370
 (360) 779-4299
 (206) 842-9598
 DATE 9/20/13 DMC NO. 54805 FIELD BOOK B75, 918 SHEET 1/1



INDEXING VICINITY MAP
 SEC. 14, T. 25N., R. 2E., W.M.
 GRAPHIC SCALE



- Legend**
 — Set 3/4" pole and lot stakes
 - - - Preliminary boundaries - refer to Note 4
- Notes**
- 1) This survey was accomplished by field traverse with a three second total station.
 - 2) This survey conforms to the minimum field traverse standards for land boundary surveys as listed in WAC 332-130-090.
 - 3) This drawing does not purport to show all easements, restrictions and reservations appurtenant to or encumbering the subject property.
 - 4) Only the line between Kitsap County Assessor's Tax Parcel 142502-1-024-2009 and 142502-1-025-2004 as shown here has been established by the above referenced boundary line Agreement and Quit Claim Deeds. The North line of Parcel 024 and the South line of Parcel 025 were surveyed previously as shown here, but no agreement has been made to formally establish these lines as the boundaries in fact.
 - 5) Refer to the survey recorded in Volume 31, Page 107 of Surveys, records of Kitsap County, Washington.
 - 6) We find no right of way conveyance of record for Falk Road NE adjacent to these properties.
 - 7) This drawing represents conditions as they were found to be at the time of this work in March, 2006. Those conditions were not reviewed at this time.
 - 8) This drawing and the information thereon is for the sole use of the client under this contract.

Skelly Short Plat
NW 1/4, NE 1/4, Sec. 14, T.25N., R.2E., W.M.
City of Bainbridge Island, Kitsap County, Washington

Dedication
KNOW ALL PERSONS BY THESE PRESENTS that the undersigned owner in fee simple of the land hereby plotted dedicated to the use of the public for use that portion of the right of way for Sunrise Drive NE shown on the plat attached hereto for use by and for all purposes consistent with the use thereof for public highway purposes and further dedicate to the City of Bainbridge Island the portion of the right of way for Sunrise Drive NE shown on the plat attached hereto for use by and for all purposes consistent with the use thereof as shown on Sheet 4. In witness whereof I have hereto set by hand and seal.

Margaret D. Skelly
Margaret D. Skelly

Acknowledgments

State of Washington
County of Kitsap

I certify that I know or have satisfactory evidence that Margaret D. Skelly is the person who appeared before me, and said person acknowledged that he signed this instrument and acknowledged it to be his free and voluntary act for the uses and purposes mentioned in the instrument.

Dated: 11/15/2007

Carla A. Krasni
Notary Public in and for the State of Washington
My appointment expires 01/25/2011



Conditions

1. Prior to any clearing, grading or building activities on applicant shall obtain approved building, plot utilities, clearing, or grading permits.
2. The future access driveway to Lots B and C shall be paved and shall have a width that meets the "minimally adequate" standard as defined by the Department of Public Works and Engineering, 12 feet wide with 3 foot shoulders. A hammocked turnaround for Fire Department access shall be provided.
3. The lots created by this plat are subject to conditions of an assurance device and the applicant shall obtain necessary facilities. Building permits may not be issued or occupancy granted until such necessary facilities are completed and approved by the City of Bainbridge Island. All purchasers shall satisfy themselves as to the status of completion of the necessary facilities.
4. School impact fees shall be paid in accordance with the following provisions. Prior to final plat approval, the applicant shall pay for Lots B and C, one half of the school impact fee in effect at the time of final short plat approval. At building permit issuance, on applicant constructing a residence on Lot B or Lot C shall pay one half of the school impact fee in effect at the time of building permit issuance.
5. Stormwater quality and quantity controls shall be in compliance with SWM Chapter 15.200. The design of systems for future residences shall be detailed at building permit.
6. The applicant is required to stop work and immediately notify the Department of Planning and Community Development and the Washington State Office of Archeology and Historic Preservation if any historical or archaeological artifacts are uncovered during excavation or construction. This condition shall apply to all construction drawings submitted as part of the building permit application.

National Flood Insurance
Program Designation
Lots A & B: Zone C
Flood Insurance Rate Map 530092 0210 B
Effective Date: May 15, 1980

Legal Description

Resultant Parcels A and B of the Boundary Line Agreement recorded under Kitsap County Auditor's File No. 200604250378 being a portion of the Northwest quarter, Northwest quarter, Section 14, Township 25 North, Range 2 East, W.M., City of Bainbridge Island, Kitsap County, Washington.

Owner:	Margaret Skelly
	1100 Sunrise Drive NE
	Bainbridge Island, WA 98110
	Rolling Bay Land Co., LLC
	P.O. Box 4713
	Rolling Bay, WA 98061-0713
Assessor's Account No.	142502-1-021-2002
	142502-1-078-2004
Current use:	Residential
Proposed water service:	Kitsap PUD No. 1
Proposed sewer service:	Individual septic systems
Zoning:	R-2
Comprehensive Plan:	OSR-2
Consistency with the fire flow requirements of City Resolution No. 98-14 will be by fire flow from the Kitsap PUD No. 1 System.	
Storm drainage from new construction on lots shall be disposed of by reduced on-site infiltration.	
Application File No.	SP713823

Notes

1. Refer to the survey recorded in Volume 31, Page 107 of Surveys, records of Kitsap County, Washington.
2. We find no right of way of record for Sunrise Drive adjacent to these properties. The right of way shown is that for a Residential Suburban road as shown on the City of Bainbridge Island's Functional Road Classifications Map dated 4/22/2003.
3. The westerly half of this property is a developed residential site sloping down from North to South. The easterly half also slopes down from North to South and is primarily built with significant trees in the Southeast corner.
4. This survey was accomplished by field traverses with a three second total station.
5. This survey conforms to the minimum field traverse standards for land boundary surveys as listed in WAC 35A-130-090.
6. Easements depicted on the drawing are over, under and across the areas shown for the purposes stated. Access and utilities easements refer to easements for ingress, egress, and the construction, maintenance and repair of underground utilities and appurtenances. Utilities easements refer to easements for the storm drainage easements and repair of underground utilities and appurtenances. Storm drainage easements refer to easements for the construction, maintenance and repair of storm drainage systems and their appurtenances. Drained easements refer to easements for the construction, maintenance and repair of underground wastewater treatment and disposal systems and their appurtenances.
7. The access and utilities easement through the southerly portion of Lots A and B benefits Lots B and C.
8. The Private storm drainage easement in the Southwest corner of Lot A benefits Lots B and C.
9. The storm drainage easement in the southerly portion of Lots B and C benefits Lots A, B and C.
10. The draftland easement in the Southwest corner of Lot B benefits Lot A.
11. This property is subject to an easement in favor of Puget Sound Energy, Inc. as recorded under Kitsap County Auditor's File No. 200707180379.

**City of
Bainbridge Island**

Kitsap County, Washington
Assessor's Account No. 142502-1-021-2002
142502-1-078-2004

Director's Approval

Approved for recording pursuant to Bainbridge Island Municipal Code, Chapter 17.12.

CL Byrne
Director of Planning and Community Development
Date: 11/15/2007

Notice

1. Responsibility and expense for maintenance of streets and sidewalks within this Short Subdivision shall rest with the lot owner.
2. Any further subdivision of lots within this Short Subdivision shall be subject to the requirements of Section 17.12.190 of the Bainbridge Municipal Code.

Treasurer's Certificate

I hereby certify that real property taxes are current for the subdivided property shown hereon for:

Date: 11-24-07
142502-1-021-2002
Kitsap County Treasurer

Surveyor's Certificate



I, Marc R. Adam, registered as a professional land surveyor in the State of Washington, hereby certify that this Short Plat is based upon an actual survey of the land described herein, conducted by me, or under my direct supervision, during the period of May, 2006 through November, 2007, that the distances, courses and angles are shown hereon correctly, and that the lot corners have been staked on the ground as depicted hereon.

Auditor's Certificate

Filed for record this 20th day of May 2007, at the request of Adam & Goldsworthy, Inc.
Auditor's File No. 200711250151
Adam & Goldsworthy, Inc.
County Auditor
Deputy Auditor

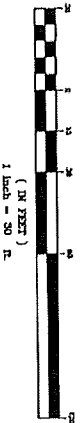
**ADAM
&
GOLDSWORTHY, INC.**
LAND SURVEYING

1015 NE HOSMARK ST. (360) 779-4298
POULSEN, WA 98370 (206) 842-9598
DATE 11/8/07 FIELD BOOK 898,900,902
DRAWING 4153571 SHEET 1/4

200711250151 V20 P 88

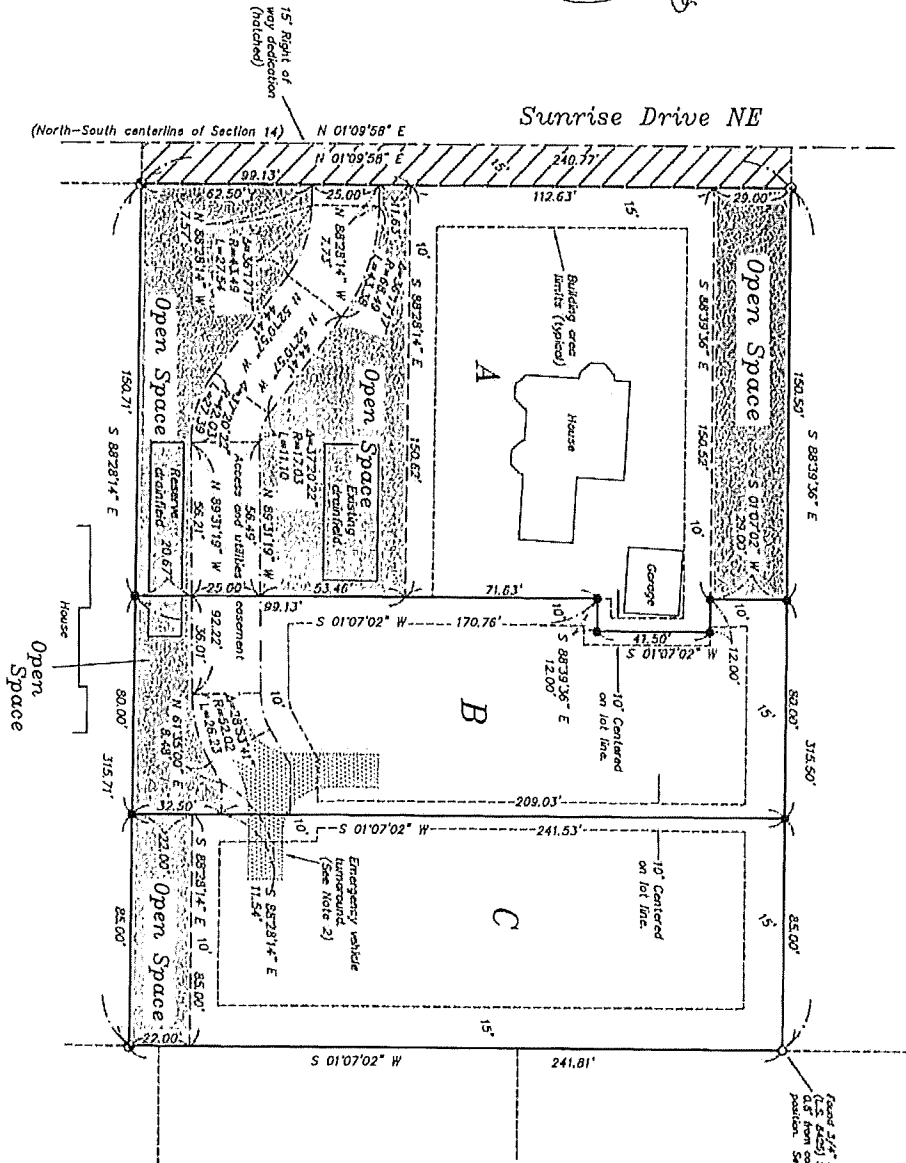


Scale: 1" = 30'
Assumed



GRAPHIC SCALE

- Legend**
- Open Space
 - Set 3/4" iron pipe and lot stake
 - Found point as noted
 - Set 3/4" iron pipe in concrete and lot stake



Found 3/4" iron pipe
(U.S. 445) S 79.02° W
10' from monument
position. Set in concrete.

Lot Areas			
Total	76,150 sq. ft.	1.75 acres	
Lot A	36,795 sq. ft.	0.84 acres	
Lot B	18,814 sq. ft.	0.44 acres	
Lot C	20,542 sq. ft.	0.47 acres	
Open Space	19,041 sq. ft. or 25%		

Areas shown are after the proposed right of way dedication.

Building Setbacks & Lot Coverage	
Building to building	Min. 10' Separation
Building to Exterior Subdivision boundary	Min. 15'
Building to Open Space	Min. 10'
Building to access easement	Min. 10'
Maximum Lot Coverage per Lot	5,077 sq. ft.

Lot Details

Skelly Short Plat

NW 1/4, NE 1/4, Sec. 14, T.25N., R.2E., W.M.

City of Bonbridge Island, Kitsap County, Washington

- Notes**
1. Sheet 4 for easement details.
 2. The emergency vehicle turnaround shown on this plat shall be kept clear of obstructions at all times.



GOLDSWORTHY, INC.

LAND SURVEYING

1015 NE HOSTMARK ST. (360) 779-4299
POULSEN, WA 98370 (206) 842-9598
DATE 11/8/07 FIELD BOOK 898,000,902
DRAWING 4158SP3 SHEET 3/4

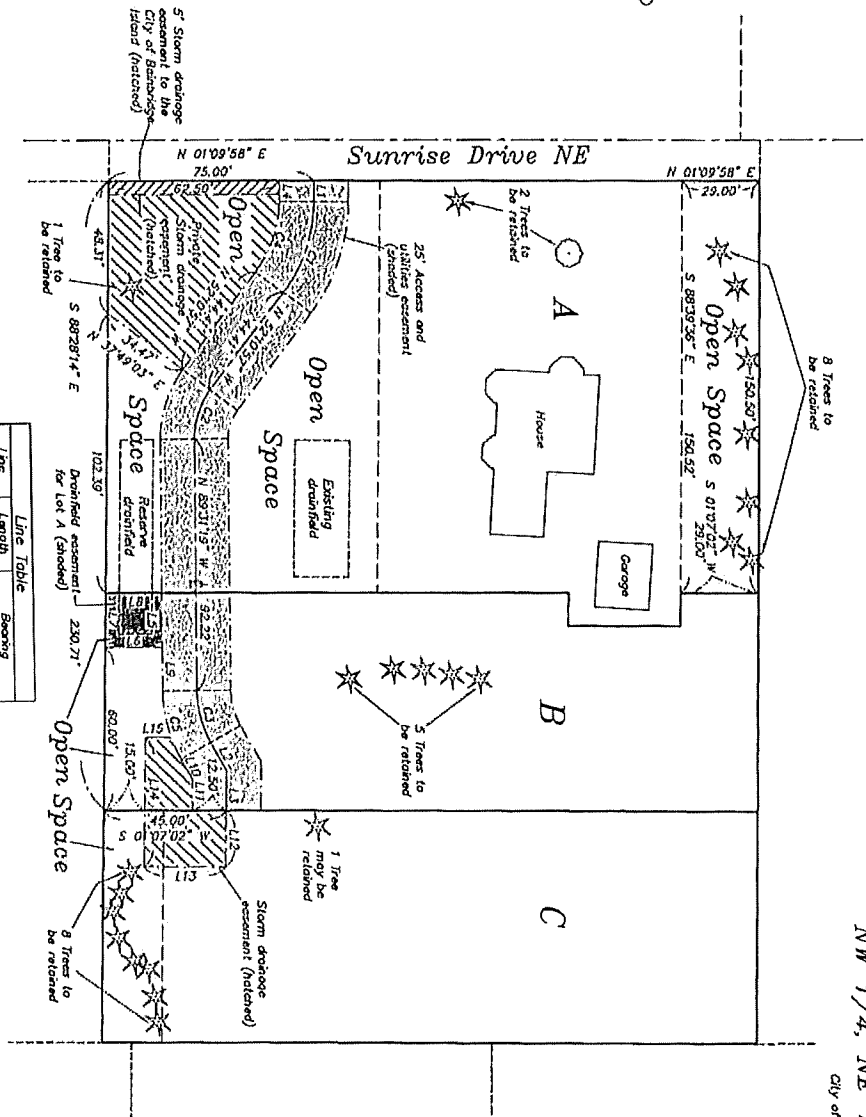
200711260151 V20 390

Skelly Short Plat
NW 1/4, NE 1/4, Sec. 14, T.25N., R.2E., W.M.
City of Buhleridge Island, Kitsap County, Washington

Easement details
&
Tree Retention Plan

Scale: 1"=30'

Assumed



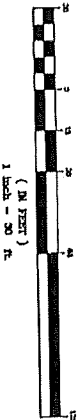
Note:
Existing significant trees are shown.



ADAM
&
GOLDSWORTHY, INC.
LAND SURVEYING

1015 NE HOSTMARK ST. (360) 779-4299
POULSBO, WA 98370 (206) 842-9598
DATE 11/9/07 FIELD BOOK 898,900,902
DRAWING 4158SP-4 SHEET 4/4

GRAPHIC SCALE



Line	Length	Bearing
L1	7.65'	N 88°28'14" W
L2	11.83'	N 61°35'00" E
L3	14.80'	S 88°28'14" E
L4	7.57'	N 88°28'14" W
L5	20.00'	N 89°31'19" W
L6	21.05'	S 01°07'02" W
L7	20.00'	S 88°28'14" E
L8	20.67'	S 01°07'02" W
L9	16.01'	N 89°31'19" W
L10	8.48'	N 61°35'00" E
L11	11.54'	S 88°28'14" E
L12	20.58'	S 01°07'02" W
L13	30.00'	S 01°07'02" W
L14	47.53'	N 88°28'14" W
L15	9.52'	N 01°07'02" E

Curve	Length	Radius	Data
C1	35.46'	55.99'	36°17'17"
C2	19.25'	28.53'	37°20'22"
C3	19.93'	39.62'	28°53'41"
C4	27.54'	42.49'	36°17'17"
C5	26.23'	52.02'	28°53'41"

200711260151 V20 P91

When Recorded Return To:

John P. Tremper
3101 Pleasant Beach Drive NE
Bainbridge Island WA 98110

RECORDED AT REQUEST OF:

DEED OF TRUST

(For use in the State of Washington only)

PNWT 32144647
Grantor(s): Cameron J. Karsten and Lily C. Karsten
Beneficiary: John P. Tremper
Trustee: Pacific Northwest Title
Abbreviated Legal: Resultant Lunda 1 Parcel of B.A., AFNs 201309260038 and
Assessor's Tax Parcel Number(s): 201309260039, Ptn NW/NE, S14, T25N,
142502-1-024-2009 R2E

THIS DEED OF TRUST, made this 3rd day of April, 2014 between Cameron J. Karsten and Lily C. Karsten, GRANTOR, whose address is 10871 Falk Road NE, Bainbridge Island, Washington 98110, PACIFIC NORTHWEST TITLE COMPANY, a corporation, TRUSTEE, whose address is 2121 NW Myhre Road, Suite 300, P.O. Box 3607, Silverdale, Washington 98383, and John P. Tremper, BENEFICIARY, whose address is 3101 Pleasant Beach Drive NE, Bainbridge Island, Washington 98110.

WITNESSETH: Grantor hereby bargains, sells, and conveys to Trustee in trust, with power of sale, the following described real property in ~~Thurston~~ Kitsap County, Washington:

Full legal on attached Exhibit A.

which real property is not used principally for agricultural or farming purposes, together with all the tenements, hereditaments, and appurtenances now or hereafter thereunto belonging or in any wise appertaining, and the rents, issues and profits thereof.

This deed is for the purpose of securing performance of each agreement of grantor herein contained, and payment of the sum of **Two Hundred Thirty Thousand Dollars** (\$230,000.00) with interest, in accordance with the terms of a promissory note of even date herewith, payable to Beneficiary or order, and made by Grantor, and all renewals, modifications and extensions thereof, and also such further sums as may be advanced or loaned by Beneficiary to Grantor, or any of their successors or assigns, together with interest thereon at such rate as shall be agreed upon.

DUE DATE: The entire balance of the promissory note secured by this Deed of Trust, together with any and all interest accrued thereon, shall be due and payable in full on March 31, 2044.

To protect the security of this Deed of Trust, Grantor covenants and agrees:

1. To keep the property in good condition and repair; to permit no waste thereof; to complete any building, structure or improvements being built or about to be built thereon; to restore promptly any building, structure, or improvement thereon which may be damaged or destroyed; and to comply with all laws, ordinances, regulations, covenants, conditions and restrictions affecting the property.
2. To pay before delinquent all lawful taxes and assessments upon the property; to keep the property free and clear of all other charges, liens or encumbrances impairing the security of this Deed of Trust.

3. To keep all buildings now or hereafter erected on the property described herein continuously insured against loss by fire or other hazards in an amount not less than the total debt secured by this Deed of Trust. All policies shall be held by the Beneficiary, and be in such companies as the Beneficiary may approve and have loss payable first to the Beneficiary, as its interest may appear, and then to the Grantor. The amount collected under any insurance policy may be applied upon any indebtedness hereby secured in such order as the Beneficiary shall determine. Such application by the Beneficiary shall not cause discontinuance of any proceedings to foreclose this Deed of Trust. In the event of foreclosure, all rights of the Grantor in insurance policies then in force shall pass to the purchaser at the foreclosure sale.

4. To defend any action or proceeding purporting to affect the security hereof or the rights or powers of Beneficiary or Trustee, and to pay all costs and expenses, including cost of title search and attorney's fees in a reasonable amount, in such action or proceeding, in any suit brought by Beneficiary to foreclose this Deed of Trust.

5. To pay all costs, fees and expenses in connection with this Deed of Trust, including the expenses of the Trustee incurred in enforcing the obligation secured hereby and Trustee's and attorney's fees actually incurred, as provided by statute.

6. Should Grantor fail to pay when due any taxes, assessments, insurance premiums, liens encumbrances or other charges against the property hereinabove described, Beneficiary may pay the same, and the amount so paid, with interest at the rate set forth in the note secured hereby, shall be added to and become a part of the debt secured by this Deed of Trust.

7. **DUE ON SALE:** The property described in this security instrument may not be sold or transferred without the Beneficiary's consent. Upon breach of this provision, Beneficiary may declare all sums due under the Note and Deed of Trust immediately due and payable, unless prohibited by applicable law.

IT IS MUTUALLY AGREED THAT

8. In the event any portion of the property is taken or damaged in an eminent domain proceeding, the entire amount of the award or such portion as may be necessary to fully satisfy the obligation secured hereby, shall be paid to Beneficiary to be applied to said obligation.

9. By accepting payment of any sum secured hereby after its due date, Beneficiary does not waive its right to require prompt payment when due of all other sums so secured or to declare default for failure to so pay.

10. The Trustee shall reconvey all or any part of the property covered by this Deed of Trust to the person entitled thereto, on written request of the Grantor and the Beneficiary, or upon satisfaction of the obligation secured and written request for reconveyance made by the Beneficiary or the person entitled thereto.

11. Upon default by Grantor in the payment of any indebtedness secured hereby or in the performance of any agreement contained herein, all sums secured hereby shall immediately become due and payable at the option of the Beneficiary. In such event and upon written request of Beneficiary, Trustee shall sell the trust property, in accordance with the Deed of Trust Act of the State of Washington, at public auction to the highest bidder. Any person except Trustee may bid at Trustee's sale. Trustee shall apply the proceeds of the sale as follows: (1) to the expense of the sale, including a reasonable Trustee's fee and attorney's fee; (2) to the obligation secured by this Deed of Trust; and (3) the surplus, if any, shall be distributed to the persons entitled thereto.

12. Trustee shall deliver to the purchaser at the sale its deed, without warranty, which shall convey to the purchaser the interest in the property which Grantor had or had the power to convey at the time of his execution of this Deed of Trust, and such as he may have acquired thereafter. Trustee's deed shall recite the facts showing that the sale was conducted in compliance with all the requirements of law and this Deed of Trust, which


recital shall be prima facie evidence of such compliance and conclusive evidence thereof in favor of bona fide purchaser and encumbrances for value.

13. The power of sale conferred by this Deed of Trust and by the Deed of Trust Act of the State of Washington is not an exclusive remedy; Beneficiary may cause this Deed of Trust to be foreclosed as a mortgage.

14. In the event of the death, incapacity, disability, or resignation of Trustee, Beneficiary may appoint in writing a successor trustee, and upon the recording of such appointment in the mortgage records of the county in which this Deed of Trust is recorded, the successor trustee shall be vested with all powers of the original trustee. The trustee is not obligated to notify any party hereto of pending sale under any other Deed of Trust or of an action or proceeding in which Grantor, Trustee or Beneficiary shall be a party unless such action or proceeding is brought by the Trustee.

15. This Deed of Trust applies to, inures to the benefit of, and is binding not only on the parties hereto, but on their heirs, devisees, legatees, administrators, executors, and assigns. The term Beneficiary shall mean the holder and owner of the note secured hereby, whether or not named as Beneficiary herein.

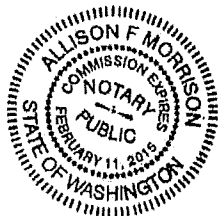
Dated this 3rd day of April, 2014.

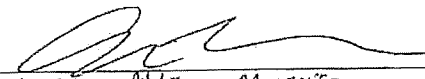

CAMERON J. KARSTEN
STATE OF WASHINGTON)
COUNTY OF Kitsap) ss.


LILY C. KARSTEN

I certify that I know or have satisfactory evidence that Cameron J. Karsten and Lily C. Karsten are the persons who appeared before me and said persons acknowledged that they signed this instrument and acknowledged it to be their free and voluntary act for the uses and purposes mentioned in the instrument.

Dated: April 3rd, 2014.




Print Name: Allison Morrison
Notary Public in and for the State of Washington
Residing at Kirkland
My appointment expires: 2/11/15

REQUEST FOR FULL RECONVEYANCE
Do not record. To be used only when note has been paid.

TO: TRUSTEE.

The undersigned is the legal owner and holder of the note and all other indebtedness secured by the within Deed of Trust. Said note, together with all other indebtedness secured by said Deed of Trust, has been fully paid and satisfied; and you are hereby requested and directed, on payment to you of any sums owing to you under the terms of said Deed of Trust, to cancel said note above mentioned, and all other evidences of indebtedness secured by said Deed of Trust delivered to you herewith, together with the said Deed of Trust, and to reconvey, without warranty, to the parties designated by the terms of said Deed of Trust, all the estate now held by you thereunder.

Dated: _____

Exhibit "A"

Order No.: **32144647**

Resultant Lundahl Parcel of Boundary Line Agreement recorded under Auditor's File No. 201309260238, and as depicted on Survey recorded in Volume 78 of Surveys, Page 74, under Auditor's File No. 201309260239, being a portion of the Northwest quarter of the Northeast quarter, Section 14, Township 25 North, Range 2 East, W.M., in Kitsap County, Washington.

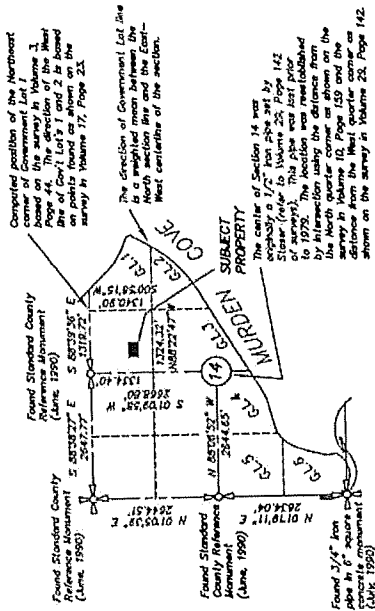
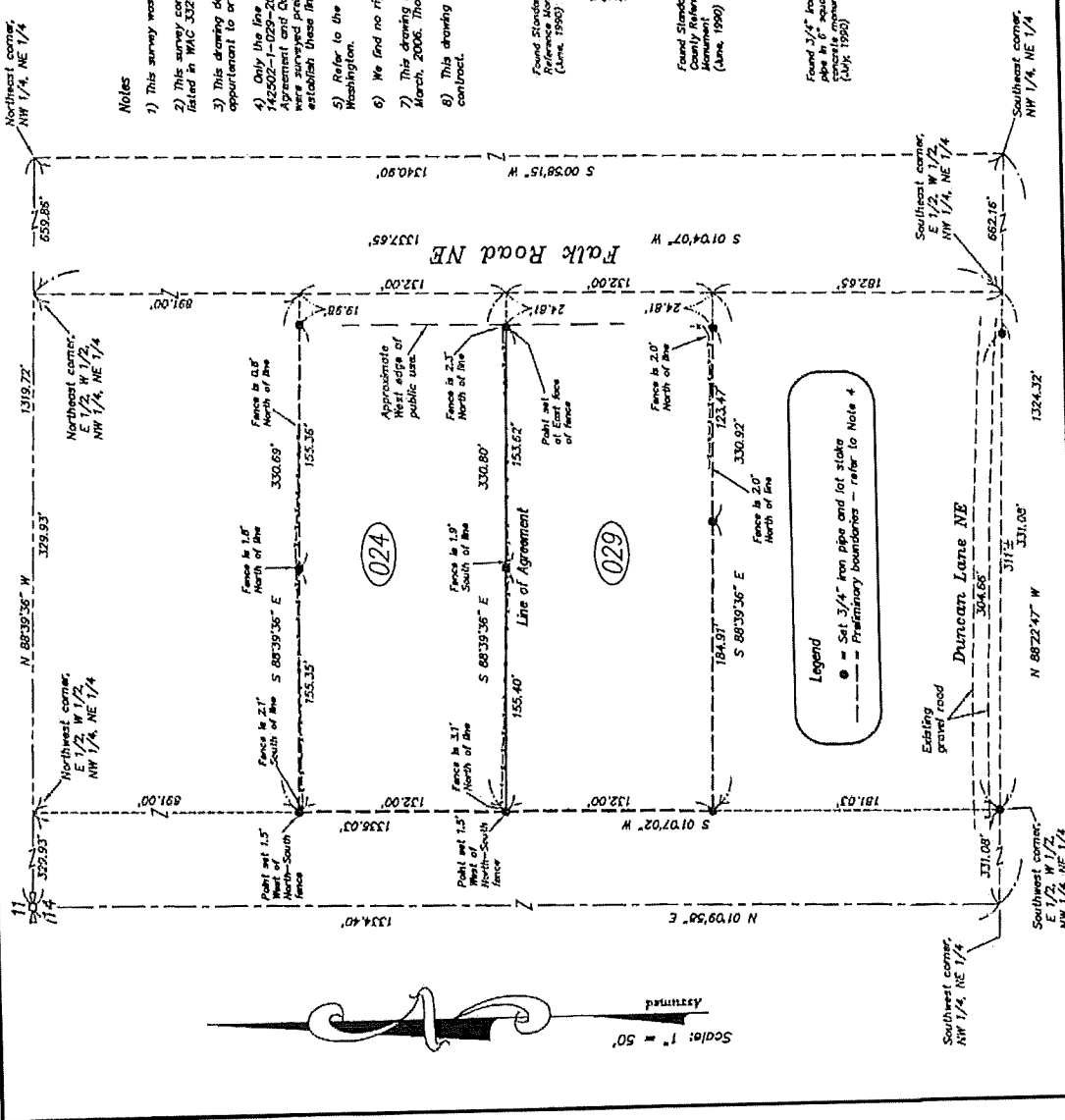
...End of Exhibit "A"...

Legal Descriptions

The line common to the Resultant Lundahl Parcel and to the Resultant Half Parcel as described in the Boundary Line Agreement and Oil Claim 228 as recorded under Kitsap County Auditor's File No. 201309260239, being a portion of the Northwest quarter, Northeast quarter, Section 14, Township 25 North, Range 2 East, W.M., City of Bainbridge Island, Kitsap County, Washington.

Notes

- 1) This survey was accomplished by field traverses with a three second total station.
- 2) This survey conforms to the minimum field traverse standards for land boundary surveys as listed in WAC 332-130-090.
- 3) This drawing does not purport to show all easements, restrictions and reservations appurtenant to or encumbering the subject property.
- 4) Only the line between Kitsap County Assessor's Tax Parcel 142502-1-024-2009 and 142502-1-029-2004 as shown here has been established by the above referenced Boundary Line Agreement and Oil Claim 228. The North line of Parcel 024 and the South line of Parcel 029 were surveyed preliminarily as shown here, but no agreement has been made to formally establish these lines as the boundaries in fact.
- 5) Refer to the survey recorded in Volume 31, Page 107 of Surveys, records of Kitsap County, Washington.
- 6) We find no right of way conveyance of record for Falk Road NE adjacent to these properties.
- 7) This drawing represents conditions as they were found to be at the time of this work in March, 2006. Those conditions were not reviewed at this time.
- 8) This drawing and the information thereon is for the sole use of the client under this contract.

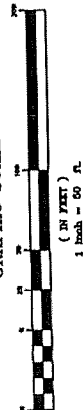


SECTION SUBDIVISION

INDEXING VICINITY MAP

SEC.14, T.25N., R.2E., W.M.

GRAPHIC SCALE



a survey of a portion of
Northwest 1/4, Northeast 1/4,
SEC.14, T.25N., R.2E., W.M.
City of Bainbridge Island, Kitsap County, Washington



SURVEYOR'S CERTIFICATE
This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Survey Recording Act at the request of
Thomas Lundahl
in March, 2006.

AUDITOR'S CERTIFICATE
Filed for record this 14th day of September, 2013 at the request of Adam & Goldsworthy, Inc. Auditor's File No. 201309260239
Volume 31, Page 107 of Surveys
County Auditor
Exp. 12/31/13

ADAM & GOLDSWORTHY, INC.
LAND SURVEYING
1015 NE HOSTMARK STREET
POULSBO, WA 98370
(360)779-4299
(206)842-9598

DATE 9/20/13 DMC NO. 54805 FIELD BOOK 875.918 SHEET 1/1

201309260239 78.74

When Recorded Return To:

John P. Tremper
3101 Pleasant Beach Drive NE
Bainbridge Island WA 98110

RECORDED AT REQUEST OF:

DEED OF TRUST

(For use in the State of Washington only)
(SECOND)

PNWT 32144647
Grantor(s): Cameron J. Karsten and Lily C. Karsten
Beneficiary: John P. Tremper
Trustee: Pacific Northwest Title
Abbreviated Legal: Resultant Lundahl Parcel of B/LA, AFNs 201301060032
Assessor's Tax Parcel Number(s): and 201309060039, Ptn NW/NE, S1/4, T24N,
142502-1-034-2009 R2E

THIS DEED OF TRUST, made this 3rd day of April, 2014 between Cameron J. Karsten and Lily C. Karsten, GRANTOR, whose address is 10871 Falk Road NE, Bainbridge Island, Washington 98110, PACIFIC NORTHWEST TITLE COMPANY, a corporation, TRUSTEE, whose address is 2121 NW Myhre Road, Suite 300, P.O. Box 3607, Silverdale, Washington 98383, and John P. Tremper, BENEFICIARY, whose address is 3101 Pleasant Beach Drive NE, Bainbridge Island, Washington 98110.

WITNESSETH: Grantor hereby bargains, sells, and conveys to Trustee in trust, with power of sale, the following described real property in Thurston County, Washington:

Full legal on attached Exhibit A.

Kitsap

which real property is not used principally for agricultural or farming purposes, together with all the tenements, hereditaments, and appurtenances now or hereafter thereunto belonging or in any wise appertaining, and the rents, issues and profits thereof.

This deed is for the purpose of securing performance of each agreement of grantor herein contained, and payment of the sum of **One Hundred Fifty-Five Thousand Dollars** (\$155,000.00) with interest, in accordance with the terms of a promissory note of even date herewith, payable to Beneficiary or order, and made by Grantor, and all renewals, modifications and extensions thereof, and also such further sums as may be advanced or loaned by Beneficiary to Grantor, or any of their successors or assigns, together with interest thereon at such rate as shall be agreed upon.

PRIORITY: This Deed of Trust (Second) shall be subordinate to a Deed of Trust of even date between the same parties that is recorded consequently herewith.

DUE DATE: The entire balance of the promissory note secured by this Deed of Trust, together with any and all interest accrued thereon, shall be due and payable in full on April 7, 2021.

To protect the security of this Deed of Trust, Grantor covenants and agrees:

1. To keep the property in good condition and repair; to permit no waste thereof; to complete any building, structure or improvements being built or about to be built thereon; to restore promptly any building, structure, or improvement thereon which may be damaged or destroyed; and to comply with all laws, ordinances, regulations, covenants, conditions and restrictions affecting the property.

2. To pay before delinquent all lawful taxes and assessments upon the property; to keep the property free and clear of all other charges, liens or encumbrances impairing the security of this Deed of Trust.

3. To keep all buildings now or hereafter erected on the property described herein continuously insured against loss by fire or other hazards in an amount not less than the total debt secured by this Deed of Trust. All policies shall be held by the Beneficiary, and be in such companies as the Beneficiary may approve and have loss payable first to the Beneficiary, as its interest may appear, and then to the Grantor. The amount collected under any insurance policy may be applied upon any indebtedness hereby secured in such order as the Beneficiary shall determine. Such application by the Beneficiary shall not cause discontinuance of any proceedings to foreclose this Deed of Trust. In the event of foreclosure, all rights of the Grantor in insurance policies then in force shall pass to the purchaser at the foreclosure sale.

4. To defend any action or proceeding purporting to affect the security hereof or the rights or powers of Beneficiary or Trustee, and to pay all costs and expenses, including cost of title search and attorney's fees in a reasonable amount, in such action or proceeding, in any suit brought by Beneficiary to foreclose this Deed of Trust.

5. To pay all costs, fees and expenses in connection with this Deed of Trust, including the expenses of the Trustee incurred in enforcing the obligation secured hereby and Trustee's and attorney's fees actually incurred, as provided by statute.

6. Should Grantor fail to pay when due any taxes, assessments, insurance premiums, liens encumbrances or other charges against the property hereinabove described, Beneficiary may pay the same, and the amount so paid, with interest at the rate set forth in the note secured hereby, shall be added to and become a part of the debt secured by this Deed of Trust.

7. **DUE ON SALE:** The property described in this security instrument may not be sold or transferred without the Beneficiary's consent. Upon breach of this provision, Beneficiary may declare all sums due under the Note and Deed of Trust immediately due and payable, unless prohibited by applicable law.

IT IS MUTUALLY AGREED THAT

8. In the event any portion of the property is taken or damaged in an eminent domain proceeding, the entire amount of the award or such portion as may be necessary to fully satisfy the obligation secured hereby, shall be paid to Beneficiary to be applied to said obligation.

9. By accepting payment of any sum secured hereby after its due date, Beneficiary does not waive its right to require prompt payment when due of all other sums so secured or to declare default for failure to so pay.

10. The Trustee shall reconvey all or any part of the property covered by this Deed of Trust to the person entitled thereto, on written request of the Grantor and the Beneficiary, or upon satisfaction of the obligation secured and written request for reconveyance made by the Beneficiary or the person entitled thereto.

11. Upon default by Grantor in the payment of any indebtedness secured hereby or in the performance of any agreement contained herein, all sums secured hereby shall immediately become due and payable at the option of the Beneficiary. In such event and upon written request of Beneficiary, Trustee shall sell the trust property, in accordance with the Deed of Trust Act of the State of Washington, at public auction to the highest bidder. Any person except Trustee may bid at Trustee's sale. Trustee shall apply the proceeds of the sale as follows: (1) to the expense of the sale, including a reasonable Trustee's fee and attorney's fee; (2) to the obligation secured by this Deed of Trust; and (3) the surplus, if any, shall be distributed to the persons entitled thereto.

12. Trustee shall deliver to the purchaser at the sale its deed, without warranty, which shall convey to the purchaser the interest in the property which Grantor had or had the power to convey at the time of his execution of this Deed of Trust, and such as he may have acquired thereafter. Trustee's deed shall recite the facts showing that the sale was conducted in compliance with all the requirements of law and this Deed of Trust, which recital shall be prima facie evidence of such compliance and conclusive evidence thereof in favor of bona fide purchaser and encumbrances for value.

13. The power of sale conferred by this Deed of Trust and by the Deed of Trust Act of the State of Washington is not an exclusive remedy; Beneficiary may cause this Deed of Trust to be foreclosed as a mortgage.

14. In the event of the death, incapacity, disability, or resignation of Trustee, Beneficiary may appoint in writing a successor trustee, and upon the recording of such appointment in the mortgage records of the county in which this Deed of Trust is recorded, the successor trustee shall be vested with all powers of the original trustee. The trustee is not obligated to notify any party hereto of pending sale under any other Deed of Trust or of an action or proceeding in which Grantor, Trustee or Beneficiary shall be a party unless such action or proceeding is brought by the Trustee.

15. This Deed of Trust applies to, inures to the benefit of, and is binding not only on the parties hereto, but on their heirs, devisees, legatees, administrators, executors, and assigns. The term Beneficiary shall mean the holder and owner of the note secured hereby, whether or not named as Beneficiary herein.

Dated this 3rd day of April, 2014.

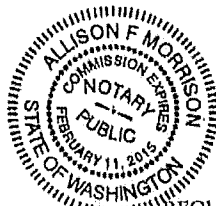

CAMERON J. KARSTEN

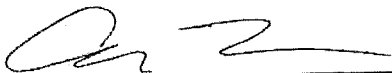

LILY C. KARSTEN

STATE OF WASHINGTON)
) ss.
COUNTY OF Kitsap)

I certify that I know or have satisfactory evidence that Cameron J. Karsten and Lily C. Karsten are the persons who appeared before me and said persons acknowledged that they signed this instrument and acknowledged it to be their free and voluntary act for the uses and purposes mentioned in the instrument.

Dated: April 3, 2014.




Print Name: Allison Morrison
Notary Public in and for the State of Washington
Residing at Kingston
My appointment expires: 2/11/15

REQUEST FOR FULL RECONVEYANCE
Do not record. To be used only when note has been paid.

TO: TRUSTEE.

The undersigned is the legal owner and holder of the note and all other indebtedness secured by the within Deed of Trust. Said note, together with all other indebtedness secured by said Deed of Trust, has been fully paid and satisfied; and you are hereby requested and directed, on payment to you of any sums owing to you under the terms of said Deed of Trust, to cancel said note above mentioned, and all other evidences of indebtedness secured by said Deed of Trust delivered to you herewith, together with the said Deed of Trust, and to reconvey, without

warranty, to the parties designated by the terms of said Deed of Trust, all the estate now held by you thereunder.

Dated: _____

Exhibit "A"

Order No.: 32144647

Resultant Lundahl Parcel of Boundary Line Agreement recorded under Auditor's File No. 201309260238, and as depicted on Survey recorded in Volume 78 of Surveys, Page 74, under Auditor's File No. 201309260239, being a portion of the Northwest quarter of the Northeast quarter, Section 14, Township 25 North, Range 2 East, W.M., in Kitsap County, Washington.

...End of Exhibit "A"...



REFERENCE M



Department of Public Works - Engineering

Memorandum

Date: May 29, 2018
To: Annie Hillier, Planner, Planning and Comm. Development
From: Peter Corelis, P.E., Development Engineer
Subject: PLN50875 SPT – Karsten Short Plat

Project Description:

The proposal is to subdivide one (1) parcel into two (2) resultant parcels. The subject parcel is identified by tax ID no. 142502-1-024-2009 and is located at 10871 Falk Road NE in the City of Bainbridge Island.

Preliminary Approval:

I have completed a review of the above-referenced project materials received by COBI on December 6, 2017. The preliminary short subdivision is recommended for **APPROVAL** based on the following findings and subject to the recommended conditions.

1. The preliminary short subdivision conforms to regulations concerning drainage in BIMC 15.20 and 15.21;
2. The preliminary short subdivision will not cause an undue burden on the drainage basin or water quality and will not unreasonably interfere with the use and enjoyment of properties downstream;
3. The streets and pedestrian ways as proposed are adequate to accommodate anticipated traffic;
4. There is water service to serve the short subdivision that can be made available at the site and sewerage will be treated through on-site septic (OSS) drainfields.
5. The preliminary short subdivision conforms to the City of Bainbridge Island Design and Construction Standards and Specifications, “the Standards”.

Recommended Conditions of Approval

1. Survey monumentation shall be provided consistent with the Standards, Section 8-03.
1. Civil improvement plans ready for construction shall be submitted with an application for a plat utility permit to COBI for review and approval to construct all necessary infrastructure serving the divided lots.
2. As-built civil construction plans stamped by a civil engineer shall be provided by the applicant prior to final plat.
3. A road maintenance agreement between proposed Lots A & B shall be recorded prior to the final short plat. Maintenance of the private road shall be the responsibility of the owners and not the City.
4. A Stormwater Pollution Prevention Plan (SWPPP) is required prior to construction activities including clearing or grading or civil improvements. Stormwater quality treatment, erosion and sedimentation control shall be designed in accordance with BIMC 15.20. The submittal documents shall be prepared by a civil engineer licensed in the State of Washington.
5. Prior to final plat submittal, or performance bond release, the applicant shall submit an operation and maintenance plan for the on-going maintenance of the storm drainage system.
6. Stormwater from the new driveway surfaces shall be 100% infiltrated on-site. Final design of a linear rain garden driveway center strip shall be included in the plat utility application and should address how the bioretention soil mix has no shear or compressive strength to withstand vehicle traffic and provide sidewall restraint for the gravel wheel strips. A final design shall address how the strip will be maintained in perpetuity with a durable design. Alternatives to a rain garden may be acceptable such as a pervious paver center strip that would provide adequate lateral and bearing strength while also allowing for full infiltration or stormwater inputs.
7. The face of the plat shall include a note stating that all surface stormwater shall be infiltrated on-site consistent with BIMC 15.20.
8. All on-site stormwater facilities shall remain privately owned and maintained. The owner(s) shall be responsible for maintenance of the storm drainage facilities for this development following construction. Annual inspection and maintenance reports shall be provided to the City. A Declaration of Covenant for stormwater system operation and maintenance will be required to be recorded before final plat submittal. The approved language for the Declaration of Covenant is found in BIMC Chapter 15.21, Exhibit A.
9. A right-of-way (ROW) construction permit or road approach application (RAA) will be required prior to construction activities within the right-of-way. The ROW/RAA permit will be subject to separate conditions and bonding requirements.
10. Installation of improvements and creation of as-built engineered plans must be completed prior to approval of final plat. In lieu of completion of those improvements and as-builts consistent with the conditions of a preliminary short plat approval, the City engineer may accept an assurance device, in an amount and in a form determined by the City, but not to exceed 125 percent of the established cost of completing the infrastructure that secures and provides for the actual construction and installation of the improvements or the performance of the conditions within one year, or such additional time as the city engineer determines is appropriate after final plat approval.